



CITY OF BATTLE CREEK

**Historic District Commission Meeting**  
(10 N. Division St., City Commission Chambers, Ste. #301 on 3<sup>rd</sup> Floor)

**Monday, February 10, 2020 at 4:00**

1. Call to Order:

2. Attendance:

3. Additions or Deletions to Agenda:

4. Approval of minutes: January 13, 2020

5. Correspondence:

6. Old Business: None.

7. New Business:

A: H-1-20 Robb Perry/Burkett Signs Inc., 25 W. Michigan Ave., for the issuance of a Certificate of Appropriateness for several new signs.

B: H-2-20 Peecoon and Lance Allen. 215 West Michigan, for the issuance of a Certificate of Appropriateness for exterior renovations.

C: A resolution to support the nomination of 15 Carlyle Street "Record Box" for the Michigan Historic Preservation Network 2020 Preservation Award.

D. Election of Chairperson

8. Comments by the Public:

9. Comments from Commission members and Staff:

10. Adjournment:

The City of Battle Creek will provide necessary reasonable auxiliary aids and services, such as signers for the hearing impaired and audio tapes of printed materials being considered in the meeting upon notice to the City of Battle Creek. Individuals with disabilities requiring auxiliary aides or services should contact the City of Battle Creek by writing or calling the following: Office of the City Clerk, P.O. Box 1717, 10 North Division – Suite 111, Battle Creek, MI 49016, (269)966-3348 (Voice), (269)966-3348 (TDD)

Phone (269) 966-3320 Fax (269) 966-3555

[www.battlecreekmi.gov](http://www.battlecreekmi.gov)

**HISTORIC DISTRICT COMMISSION**  
**MEETING MINUTES**  
**JANUARY 13, 2020**  
**4:00 P.M.**

**CALL TO ORDER:**

Chairperson Mr. Jim Hopkins called the meeting to order at 4:00 p.m.

**ATTENDANCE:**

**Members Present:**

Jim Hopkins	Kim Tuck
Cody Newman	Ross Simpson
Mike Troutman	Trey White
John Paul Wilson	Kaytee Faris

**Members Absent:**

**Staff Present:**

Marcel Stoetzel, Deputy City Attorney  
Jill Steele, City Attorney  
Christine Zuzga, Planning Manager  
Glenn Perian, Senior Planner  
Eric Feldt, Planner  
Michele K. Jayakar, Customer Service Rep., Planning Dept.

**ADDITIONS / DELETIONS TO AGENDA:** Welcome new HDC member Trey White.

**APPROVAL OF PREVIOUS MINUTES:**

**MOTION MADE BY MR. J.P. WILSON TO APPROVE THE MINUTES FOR THE DECEMBER 9, 2019 HISTORIC DISTRICT COMMISSION MEETING, SECONDED BY MR. CODY NEWMAN. ALL IN FAVOR; NONE OPPOSED; MINUTES APPROVED**

**CORRESPONDENCE:** None

- A. OLD BUSINESS: H-14-19, City of Battle Creek (34 E. Michigan Avenue): Notice to Proceed for partial demolition of the building.**

**Staff Presentation:** Presentation given by Eric Feldt. Staff recommends the HDC approve the Notice to Proceed to demolish the tower section of the building at 34 E. Michigan Avenue, if the commission finds that the application meets Chapter 1470.09(2) "Review of Applications" as outlined in the staff report.

**Applicant Presentation:** Marcie Gillette states in October the property was in imminent danger and that no entry should be allowed. The impact on the community and the safety is the biggest factor being weighed by City Administration.

**HDC Discussion:**

**Ross Smith** a structural engineer from WJE gave a brief overview of his findings. He states it will be more cost effective to take down that portion of the building.

**Battalion Chief Michele Hughey** states the building is red flagged at Calhoun County Dispatch. No one will be entering the building in the event of a fire. The only entry that can be made is for rescue of life.

**Public Comment:**

**Jill Anderson** for Mr. Debolt states Michigan Historic Preservation Network President and structural engineer will be giving an assessment at 10 a.m. the following day

**MOTION WAS MADE BY CODY NEWMAN TO TABLE H-13-19, 34 E.MICHIGAN AVE., NOTICE TO PROCEED FOR THE PARTIAL DEMOLITION OF THE BUILDING UNTIL THE NEXT COMMISSION MEETING. SECONDED BY COMMISSIONER SIMPSON.**

Attorney Jill Steele states that in Section 9 of the ordinance states that you shall not consider other factors that are not in the ordinance. The Commission should not postpone in order to obtain further information, i.e., Historic Preservation Network structural engineer.

Commissioner Faris reinstated what the attorney said, that it is not within the powers of the HDC to decide to table such a vote.

Commissioner Tuck states he would call the question.

Chair Hopkins The criterion is not met in my eyes. I believe that we can defer the motion to postpone for a month because the four criterion have not been met.

Commissioner Newman asked if we are still on a motion.

Marcel Stoetzel answered that the motion was standing.

Jill Steele questioned that she thought they had agreed to rescind the motion.

Commissioner Simpson agreed to rescind his support on the previous motion.

Commissioner Newman didn't believe he had rescinded. He would rescind if no support.

Commissioner Tuck states we still need a motion either up or down.

Jill Steele states the motion is sitting there.

Commissioner Simpson states he will support.

Commissioner Newman rescind.

After some discussion the Commissioners were asked to vote on each question and express what they believe.

Question #1 Do you believe the resource constitutes a hazard to the safety of the public or the structures and occupants?

Commissioner Faris... Yes.  
Commissioner Newman. No, not enough information.  
Commissioner Simpson I don't believe there is enough information.  
Commissioner Troutman. Yes, it is a hazard.  
Commissioner Tuck It has met the criteria.  
Commissioner Wilson No occupants, no danger. Does not constitute a hazard to the safety of the public.  
Commissioner White Yes.

Item # 2 was determined by Staff not to have been met.

Item #3 Retaining the resource will cause undo financial hardship to the owner when a governmental action and Act of God or other event beyond the owner's control created the hardship and all feasible alternatives to eliminate the financial hardship which may include offering the resource for sale at its fair market value or moving the resource to a vacant site within the Historic District have been attempted and exhausted by owner.

Commissioner Faris... I agree with staff finding.  
Commissioner Newman.... I do not feel there is enough information at this time.  
Commissioner Simpson.... I don't agree with that finding.  
Commissioner Troutman... I agree.  
Commissioner Tuck..... Yes I would agree.  
Commissioner Hopkins.. It has not been met.  
Commissioner Wilson.... Criterion is not met.  
Commissioner White....I believe it is met.

Item #4 retaining the resource is not in the interest of the majority of the community.

Commissioner Faris.... I believe this has been met.  
Commissioner Newman... I do not believe this criteria has been met.  
Commissioner Simpson... I don't believe that criteria has been met.  
Commissioner Troutman... I do not believe it's been met.  
Commissioner Tuck.... Has not been met.  
Commissioner Wilson.. It has not been met.  
Commissioner White... I also believe it has not been met.  
Chairperson Hopkins.. I agree that it has not been met.

**MOTION MADE BY CHAIRPERSON HOPKINS TO APPROVE A NOTICE TO PROCEED AT 34 E. MICHIGAN. MOTION SECONDED BY MR. KIM TUCK. VOTE ON MOTION: TWO FOR (KIM TUCK, MICHAEL TROUTMAN) FIVE AGAINST (CHAIRPERSON JIM HOPKINS, CHARLIE FULBRIGHT, CODY NEWMAN, JOHN PAUL WILSON AND ROSS SIMPSON); MOTION DENIED.**

**B. NEW BUSINESS:** 2020 Election of Board Members

**A UNANIMOUS BALLOT WAS CAST FOR MR. CODY NEWMAN FOR VICE CHAIR. ALL IN FAVOR, APPROVED.**

**COMMISSIONER TUCK NOMINATED JIM HOPKINS FOR CHAIR. COMMISSION ROSS SIMPSON SECONDED THE NOMINATION. ALL IN FAVOR, APPROVED.**

**PUBLIC COMMENTS:** None

**COMMENTS FROM COMMISSION MEMBERS AND STAFF:**

**ADJOURNMENT:**

Chairperson, Mr. Jim Hopkins adjourned the meeting at 6:01 P.M.

Submitted by: Michele K. Jayakar, Customer Service Rep., Planning Department



# Battle Creek Historic District Commission

## Staff Report

25 West Michigan Avenue

Meeting: February 10, 2020

**To:** Historic District Commission

**From:** Eric Feldt, Planner, AICP, CFM

**Date:** January 29, 2020

**Subject:** The petition, filed by Valley City Sign (applicant), is for the issuance of a Certificate of Appropriateness for several new sign at 25 West Michigan Avenue pursuant to Zoning and Historic District Commission requirements.

### Summary

Staff recommends approval of the subject petition because the proposed signs preserves the historic integrity of the building; meets Chapter 1470 Historic Preservation, Michigan's Local Historic Districts Act; meets the criteria for the National Register of Historic Places; and complies with Ch. 1296 *Signs*.

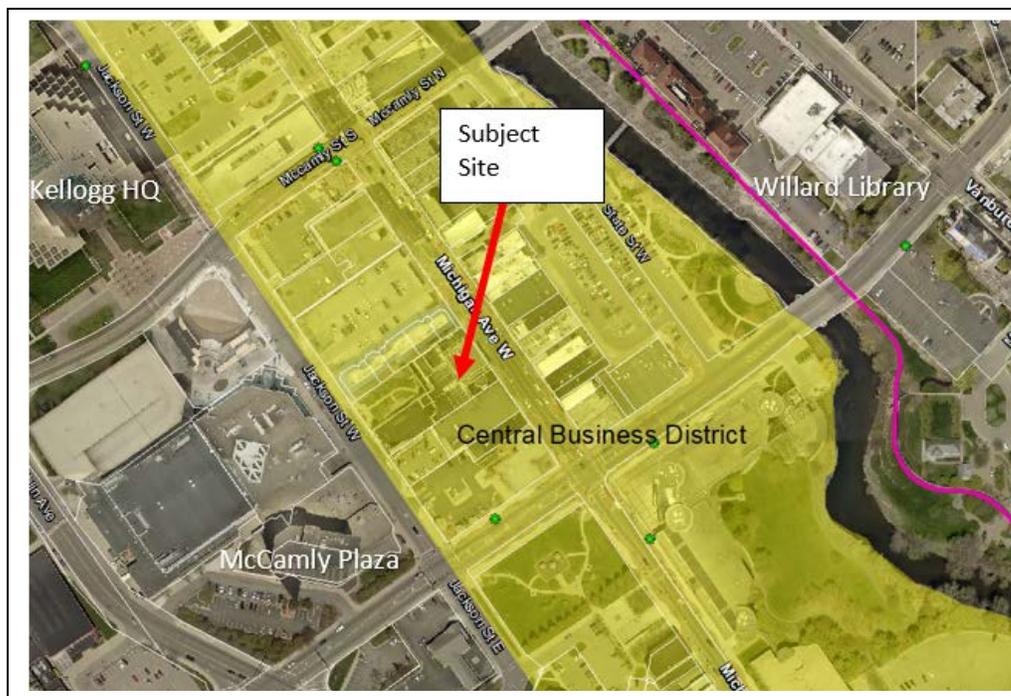


Figure 1: Arrow points to subject site (25 W. Michigan Ave.) located along W. Michigan Ave. between Capital Avenue and McCamly Street within the local historic Central Business District (shading).

## **Site & History**

As noted earlier, the subject building is located at 25 West Michigan Avenue between Capital Avenue and McCamly Street in the local historic Central Business District. The building is one of two towering buildings in downtown Battle Creek with rich history. The subject building being the taller by five feet has an overall height of 238 feet and consists of 20 stories. The building has been known by many names since its completed construction in 1931. Its original name was the Old-Merchants National Bank & Trust Co. Building, named after its primary occupant and one of the largest banking institutes of its time due to the booming local cereal industry. The building was later named after George C. McKay, a Battle Creek resident, influential banker, and philanthropist. It also changed names to the Heritage Tower. And most recently, it has become known as The Milton, a historic name for the former area of the City of Battle Creek during the 1830s. Much of the exterior design still represents its original Art Deco and later Art Modern styles.

## **Summary of Request**

Over the past few years, the building and property have undergone extensive construction to establish 85 new apartment units, ground-floor commercial tenants, and various exterior improvements. Various Building, Utility, and ROW permits have been issued; and many City of Battle Creek boards' and commissions' approvals have been gained. The HDC included, has provided approvals for repairs on the roof, brick & masonry elements, canopy replacement, and various window replacements under HDC case numbers V17-40 and V18-4, and V19-34 for new sign 'Milton'.

The subject HDC application (No.V20-34) is a Certificate of Appropriateness for three proposed signs, as stated below. Each are shown on the applicant's location map.

Sign 1) Drawing No. 172,502A: 'THE MILTON', 'Entrance'; dimensions: 1' 8" wide x 9.89" height = 1.37 square feet; located on front, accessory door facing W. Michigan Avenue; vinyl (sticker) sign adhered to glass door; not illuminated; solid white lettering.

Sign 2) Drawing No. 172,503A: 'THE MILTON'; dimensions: 9' wide x 1' height = 9'(approx.) square feet; located on back elevation facing Jackson Street; Aluminum plate letters bolted into building façade; not illuminated; solid gold lettering.

Sign 3) Drawing No. 172,606: 'THE MILTON', '*Kellogg's*', 'Suite 110', Suite 120/130', 'Suite 140', and 'Suite 150'; dimensions: 1' 8" wide x 1' 5.77" = 2.47 square feet; located on back door facing Jackson Avenue; vinyl (sticker) sign adhered to glass door; not illuminated; solid and red white lettering.

Along with the submitted HDC application, a Sign permit has been submitted for the subject sign. See attachment. Proposed signs require the submittal of a Sign permit pursuant to City of Battle Creek Chapter 1296 *Signs*. Staff determined that the Sign permit and material complies with Chapter 1296 *Signs*.

## **Applicable HDC Guidelines and Analysis for a Certificate of Appropriateness to install a new signs at 25 West Michigan Avenue.**

This property is reviewed in accordance with City of Battle Creek Building and Housing Code Chapter 1470 "Historic Preservation", as amended, the Michigan's Local Historic Districts Act, as amended, and the criteria for the National Register of Historic Places as outlined in the Secretary of the Interior's Standards and Guidelines.

Specifically, the Commission shall follow Section 1470.09 *Review of Applications*, as follows:

- (b) ***The Commission shall also consider all of the following:***
- (1) ***The historic or architectural value and significance of the resource and its relationship to the historic value of the surrounding area.***
  - (2) ***The relationship of any architectural features of the resource to the rest of the resource and the surrounding area.***
  - (3) ***The general compatibility of the design, arrangement, texture, and materials proposed to be used.***
  - (4) ***Other factors, such as aesthetic value that the Commission finds relevant.***
- (c) ***The Historic District Commission shall review and act upon only exterior features of a resource and shall not review and act upon interior arrangements...***

**And**

***1470.17 PRESERVATION OF HISTORIC FEATURES.***

- (a) ***Every reasonable effort shall be made to provide a compatible use for a resource which requires minimal alteration of the building, structure or site and its environment, or to use the resource for its originally intended purpose.***

As noted earlier, the proposed signs will be mounted to the canopy fascia and glass doors, and therefore, result no alteration of the rest of the building, structure, or property.

- (b) ***The distinguishing original qualities or character of a resource and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features shall be avoided when possible.***

No historic material or distinct architectural features of the building will be removed or altered with the proposed signs.

- (c) ***All resources shall be recognized as products of their own time. Alterations that have no historic basis and which seek to create an earlier appearance shall be discouraged.***

No alterations to the building resulting in earlier appearance will result from the proposed signs.

- (d) ***Changes which may have taken place in the course of time are evidence of the history and development of a resource and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.***

This criteria is not relevant to the project.

- (e) ***Distinctive stylistic features or examples of skilled craftsmanship which characterize a resource shall be treated with sensitivity.***

The features and craftsmanship of the building will not be negatively impacted by the project because the signs will be installed with sensitivity and not require any modifications to the building or its historic features.

- (f) ***Deteriorated architectural features shall be repaired rather than replaced wherever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other resources.***

This criteria is not relevant because the proposal does not entail any repairs or replacements.

- (g) ***The surface cleaning of resources shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic materials shall not be undertaken.***

Intensive cleaning application such as sand blasting will not be necessary for the project.

- (h) ***Every reasonable effort shall be made to protect and preserve archaeological resources affected by or adjacent to any project.***

This criteria is not relevant because no underground work is necessary for the project.

- (i) ***Contemporary design for alterations and additions to existing resources shall not be discouraged when such alterations and additions do not destroy significant historic, architectural or cultural material and when such design is compatible with the size, scale, color, material and character of the property, neighborhood or environment.***

The proposed signs will not alter nor create an addition to the building.

- (j) *Whenever possible, new additions or alterations to resources shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the resource would not be unimpaired.*

The proposed signs could be removed in the future without negatively affecting the essential form or integrity of the building.

### **Recommendation**

The proposed signs will prominently display the name of the building and tenants. With staff's analysis of the application, the proposed sign complies with standards outlined in Chapter 1470 *Historic Preservation* and should be approved. As contained herein, staff is not aware of any issues that the Commission might find in conflict with Chapter 1470 *Historic Preservation*, the Michigan Local Historic Districts Act or the Secretary of the Interior's Standards and Guidelines.

**Therefore, planning staff recommends approval of a Certificate of Appropriateness of three new signs for 25 West Michigan Avenue, as the request meets the standards outlined in Chapter 1470.09 "Review of Applications", Chapter 1470.17 "Preservation of Historic Features" and the Secretary of the Interior's Standards and Guidelines, as outlined in the staff report.**



# City of Battle Creek

Department of Planning and Community Development  
10 N. Division Street, Ste. 117 • Battle Creek, Michigan 49014  
Phone: (269) 966-3320 • [www.battlecreekmi.gov](http://www.battlecreekmi.gov)

## HISTORIC DISTRICT COMMISSION

Application for (check all that applies)

- Certificate of Appropriateness (for repairs or rehab projects)  
 Notice to Proceed (for demolition requests)

Petition No. \_\_\_\_\_

Date Received: \_\_\_\_\_

### APPLICANT\*\*

NAME: Valley City Sign  
ADDRESS: 5009 West River Dr Comstock Park, MI 49321  
PHONE: (616) 785-5713 FAX: (616) 784-8280  
EMAIL: skerr@valleycitysign.com

### OWNER (if different from applicant)

NAME: 25 Michigan Holdings LLC  
ADDRESS: 25 W Michigan Ave Battle Creek, MI 49017  
PHONE: \_\_\_\_\_ FAX: \_\_\_\_\_  
EMAIL: \_\_\_\_\_

\*\*If the applicant is not the property owner, a letter signed by the owner agreeing to the application to the Historic District Commission must be included with the application.

### SUBMITTAL REQUIREMENTS/EXISTING CONDITIONS

Address(es) of property for which the request is being sought: 25 W Michigan Ave

Current use of the property: Mixed Use

List existing structures on the property and the approximate age of each. \_\_\_\_\_

The Milton Building

Please list all activities/proposed work for the property area and how the proposed work relates to the building as a whole.

Wall sign mounted over the entrance on the south elevation.

Window vinyls attached to entry doors on the southwest elevation and the northeast elevation.

Indicate in which manner the proposed work will result in changes to the size and/or appearance of the features outlined in this application.

The proposed wall sign will be mounted on the fascia of a new canopy and the door vinyls will be adhered to the glass on the door.

Does the work proposed include maintenance/repair of existing features of the structure, or will it create new features that do not currently exist?

The proposed signage will be new features which do not presently exist.

Please indicate the existing building materials of the following structural features and the proposed materials if that feature is included as part of the application.

	Existing Materials	Proposed Materials (if applicable)
Roof	_____	_____
Windows	_____	_____
Siding	_____	_____
Foundation	_____	_____
Other _____	_____	_____

**For Notice To Proceed requests only:**

What options have you explored for the repair or relocation of the structure proposed for demolition?

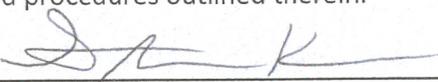
\_\_\_\_\_  
\_\_\_\_\_

**SUBMITTAL REQUIREMENTS**

As outlined in "HDC, Information and Procedure", each request requires supplementary items that thoroughly describe the existing structure and proposed project. These items are to be submitted with the completed application; incomplete applications will not be forwarded to the Historic District Commission.

**APPLICANT SIGNATURE**

By signing this application, the applicant hereby declares that all answers given herein are true to the best of their knowledge, and confirms that all information required for Historic District Commission review has been submitted. Furthermore, the applicant confirms that they have thoroughly read the "Historic District Commission, Information and Procedures" and agrees to comply with all requirements and procedures outlined therein.

  
Name

1/23/2020  
Date

Working Location: MDH Development.  
25 Michigan Avenue  
The Milton  
Battle Creek MI 49017

Quote QTE00037932

MDH Development  
25 Michigan Avenue  
The Milton  
Battle Creek MI 49017

Contact: Dan Harmsen  
Salesperson: Mary Cook  
Date: 12/21/2019

Qty	Item Number	Drawing # / Description	Unit Price	Extended Price
I authorize Valley City Sign to fill out any application necessary to obtain a sign permit for this project.				

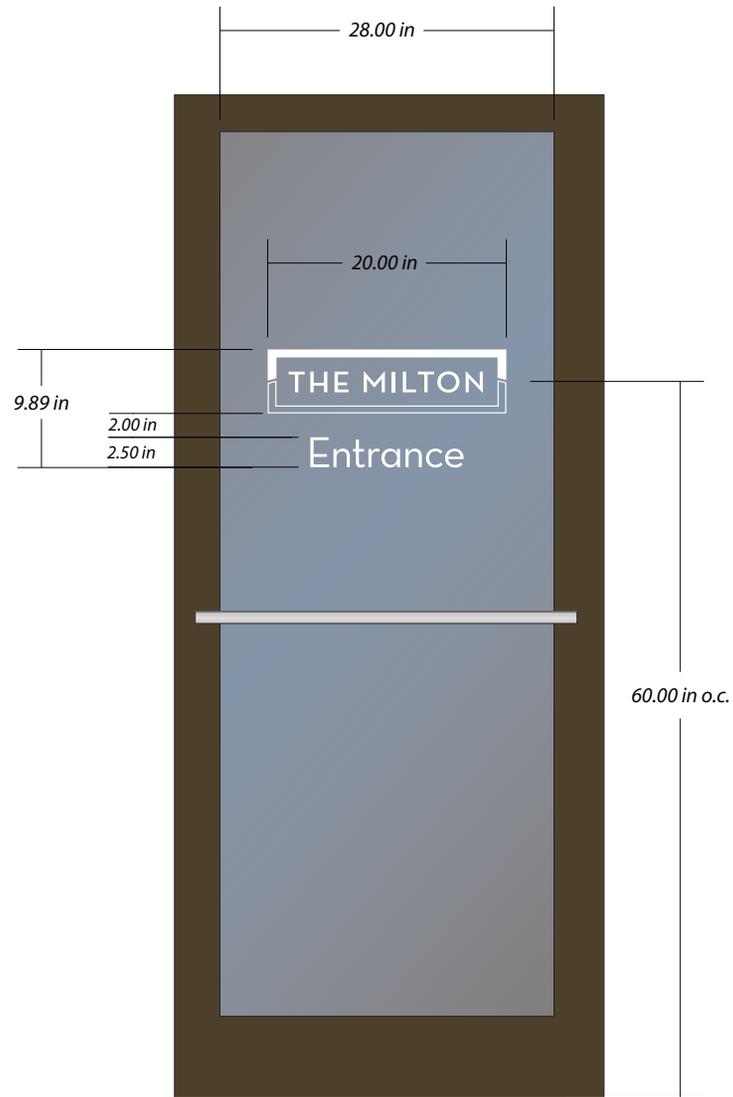
By signing below, I agree to the attached terms and conditions, or as previously agreed to.

Name/Title Dan Harmsen Signed By [Signature] Date 1/6/20

Purchase Order # \_\_\_\_\_ (If a purchase order is not required, please enter "N/A")

Valley City Sign \_\_\_\_\_ 5009 West River Drive, Comstock Park, MI 49321 (616) 784-5711 Fax (616) 784-8280

COPY



**VINYLS:**

- 5.357" h x 20" w logo w/1.73" h (T in The)
- 2.5" h (E in Entrance)

**INSTALLATION:**

- Surface apply to glass as shown

**ELEVATION**

*Typeface is Neutra Text Book Alt*

White Scotchcal #7725-10
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**VALLEY CITY  
SIGN**

5009 West River Drive | Comstock Park, MI 49321 | Ph 616.784.5711 | Fx 616.784.8280 | [www.valleycitysign.com](http://www.valleycitysign.com)

**DRAWING #172,502A**

SCALE: 3/4" = 1'-0"

ONE (1) SET OF VINYL REQUIRED

PROJECT: **MDH Development (The Milton)**

PHOTOSCAN (S): **No** DESIGNER: **JV**

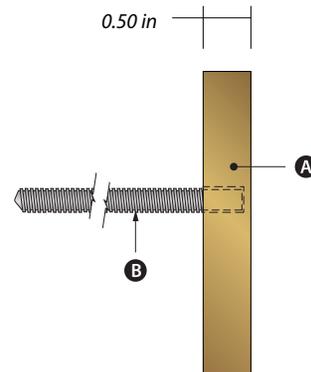
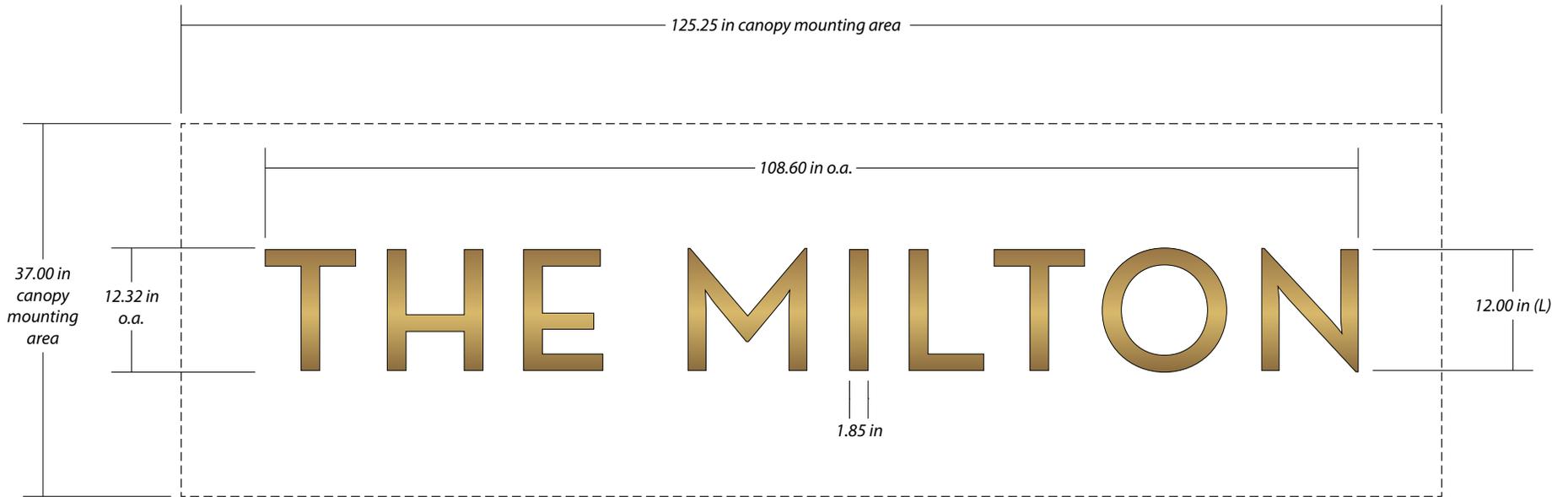
DATE: **01.06.20** REVISIONS: **JB**

HOURS: **.50 + .25** SALES: **42(MC)**

**CUSTOMER SIGNATURE:** \_\_\_\_\_ **DATE:** \_\_\_\_\_

The designs, details and plans represented herein are the property of Valley City Sign; specifically developed for your personal use in connection with the project being planned for you by Valley City Sign. They are not to be shown to anyone outside of your organization, nor are they to be used, reproduced, exhibited or copied in any fashion whatsoever. All or any part of these designs (except registered trademarks) remain the property of Valley City Sign. Colors represented are being viewed by various web browsers, computer monitors and printers, therefore an exact representation of colors shown cannot be guaranteed via these methods. For true color matching, please request a material sample.

**PROPERTY OF VALLEY CITY SIGN**



**PLATE LETTERS:**

- A** - .50" Alum. plate letters
- B** - .25-20 x 2" alum. threaded rod
- Pattern required

**INSTALLATION:**

- Stud mount flush anodized alum. wall



**VALLEY CITY SIGN**

5009 West River Drive | Comstock Park, MI 49321 | Ph 616.784.5711 | Fx 616.784.8280 | [www.valleycitysign.com](http://www.valleycitysign.com)

SOA49595P Traverse Gold	Matte clear coat
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**DRAWING #172,503A**

SCALE: 3/4" = 1'-0"

ONE (1) SET OF NON-ILLUMINATED PLATE LETTERS REQUIRED

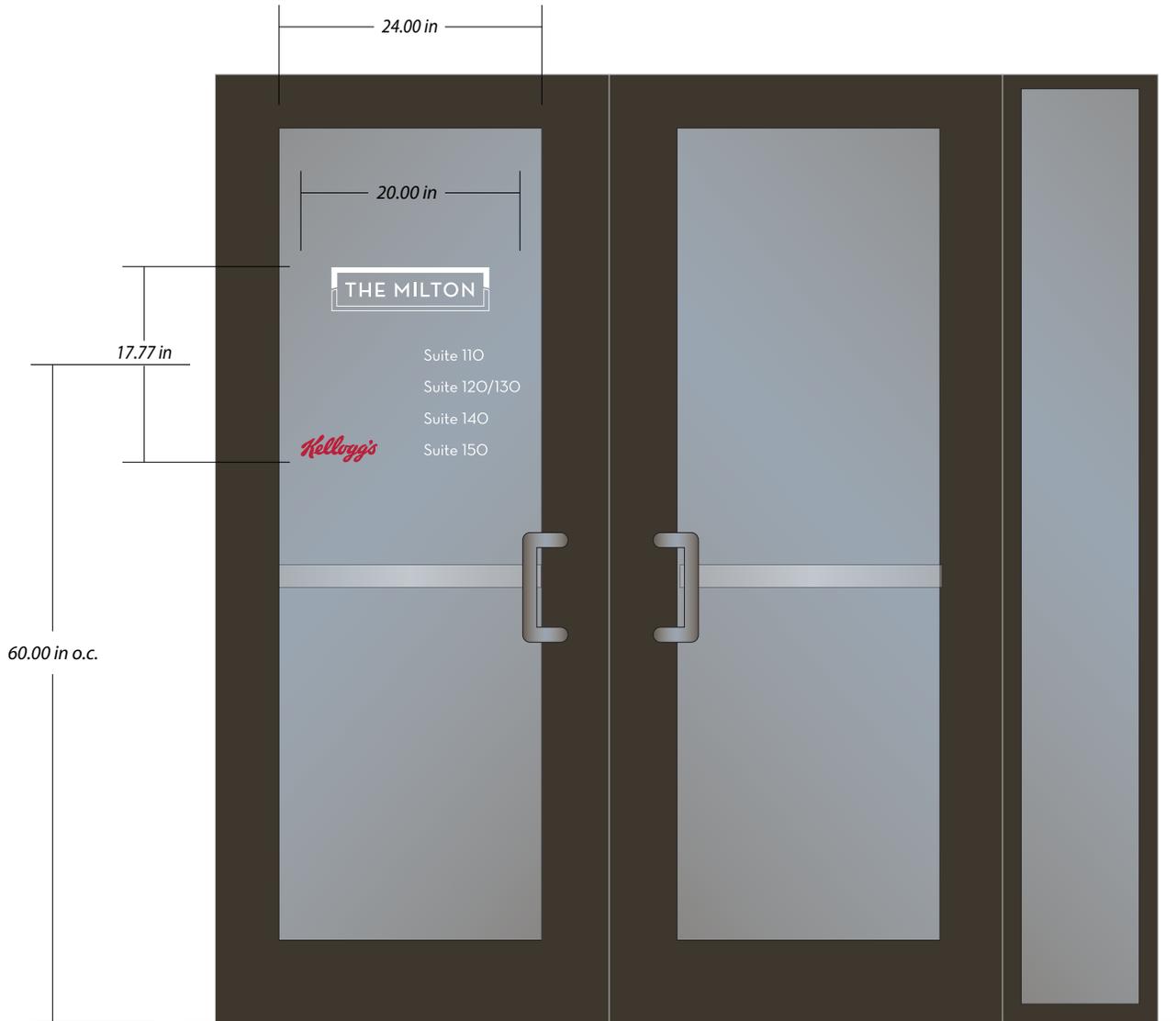
PROJECT: **MDH Development (The Milton)**

PHOTOSCAN (S): <b>No</b>	DESIGNER: <b>JV</b>
DATE: <b>01.06.20</b>	REVISIONS: <b>JB</b>
HOURS: <b>.50 + .50</b>	SALES: <b>42(MC)</b>

**CUSTOMER SIGNATURE:** \_\_\_\_\_ **DATE:** \_\_\_\_\_

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**PROPERTY OF VALLEY CITY SIGN**



**THE MILTON**

Suite 110  
 Suite 120/130  
 Suite 140  
 Suite 150

*Kellogg's*

**Enlarged for Proofing**  
 • Shown in black for illustration purposes only •



**VALLEY CITY SIGN**

5009 West River Drive | Comstock Park, MI 49321 | Ph 616.784.5711 | Fx 616.784.8280 | [www.valleycitysign.com](http://www.valleycitysign.com)

White Scotchcal #7725-10	Deep Red Scotchcal #7725-23
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CONCEPT

**DRAWING #172,606**

SCALE: 3/4" = 1'-0"

ONE (1) SET OF VINYL REQUIRED

PROJECT: **MDH Development**

PHOTOSCAN (S): **No** DESIGNER: **BAM**

DATE: **1.14.20** REVISIONS:

HOURS: **.75** SALES: **42(MC)**

**CUSTOMER SIGNATURE:** \_\_\_\_\_ **DATE:** \_\_\_\_\_

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**PROPERTY OF VALLEY CITY SIGN**

# SIGN PERMIT APPLICATION

**CLEAR FORM**   **PRINT FORM**

**Leroy Township**  
8156 4 Mile Road  
East Leroy, MI 49051  
Ph: 269-979-9421  
Fax: 269-979-2775

## Area Metropolitan Services Agency

Please make your check payable to and send it to, the appropriate jurisdiction noted.

**Please mark box for appropriate jurisdiction.**

**Bedford Township**  
115 S Uldriks Drive  
Battle Creek, MI 49017  
Ph: 269-965-9096  
Fax: 269-965-0908

**Convis Township**  
19500 15 Mile Road  
Marshall, MI 49068  
Ph: 269-789-0654  
Fax: 269-789-0657

**Emmett Township**  
621 Cliff Street  
Battle Creek, MI 49014  
Ph: 269-968-0335  
Fax: 269-968-0108

**Newton Township**  
7988 G Drive South  
Ceresco, MI 49033  
Ph: 269-979-3212  
Fax: 269-979-4470

**Pennfield Township**  
20260 Capital Ave NE  
Battle Creek, MI 49017  
Ph: 269-968-4422  
Fax: 269-968-2021

**City of Battle Creek**  
10 N Division St, Ste 117  
Battle Creek, MI 49014  
Ph: 269-966-3382  
Fax: 269-966-3654

**City of Springfield**  
601 Avenue A  
Springfield, MI 49015  
Ph: 269-441-9273  
Fax: 269-965-0114

**Administrative Section:**

**Cash**  
 **Check #** \_\_\_\_\_ **Receipt #** \_\_\_\_\_ **Inspector Approval** \_\_\_\_\_ **Issued Permit #** \_\_\_\_\_  
**Zoning Administrator Approval** \_\_\_\_\_ **Date** \_\_\_\_\_

**I. JOB LOCATION**

NAME OF BUSINESS AND BUSINESS OWNER <b>The Milton</b>	HAS AN ELECTRICAL PERMIT BEEN OBTAINED FOR THIS PROJECT? <input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A
STREET ADDRESS & JOB LOCATION (STREET NO. & NAME) <b>25 W Michigan</b>	ZONING CLASSIFICATION <b>C-7</b>
JOB SITE TELEPHONE	CELL NUMBER
	FAX
NUMBER OF EXISTING SIGNS <b>1</b>	TOTAL SQUARE FOOTAGE OF EXISTING SIGNS <b>27.7 sq ft</b>

**II. SIGN CONTRACTOR (if applicable)**

NAME <b>Valley City Sign</b>	ADDRESS <b>5009 West River Dr</b>	CITY/STATE <b>Comstock Park, MI</b>	ZIP <b>49321</b>
PHONE NUMBER <b>(616) 785-5713</b>	FAX NUMBER <b>(616) 784-8280</b>	E-MAIL ADDRESS <b>skerr@valleycitysign.com</b>	

**III. ELECTRICAL CONTRACTOR (if applicable)**

NAME	ADDRESS	CITY/STATE	ZIP
PHONE NUMBER	FAX NUMBER	E-MAIL ADDRESS	

**IV. LOCATION OF SIGN**

**On Premise Sign**  
 **Off Premise Sign**  
*In Battle Creek, call the Planning Department at 966-3320 before submitting an application for an off premise sign.*

**V. COST OF SIGNS**   **\$ 1564.00**

Portable/Temporary Sign		Permanent Sign	
Administration Fee	\$25	Administration Fee	\$50
Zoning Approval	\$15	Zoning Approval	\$25
Inspection Fee	\$25	Inspection Fee (1 <sup>st</sup> \$1,000 of Cost)	\$50
Plan Review (if applicable)	\$25	Each Addl \$1,000	\$20
		Plan Review (if applicable)	\$25
<b>Total Fee Paid:</b>		<b>Total Fee Paid:</b>	

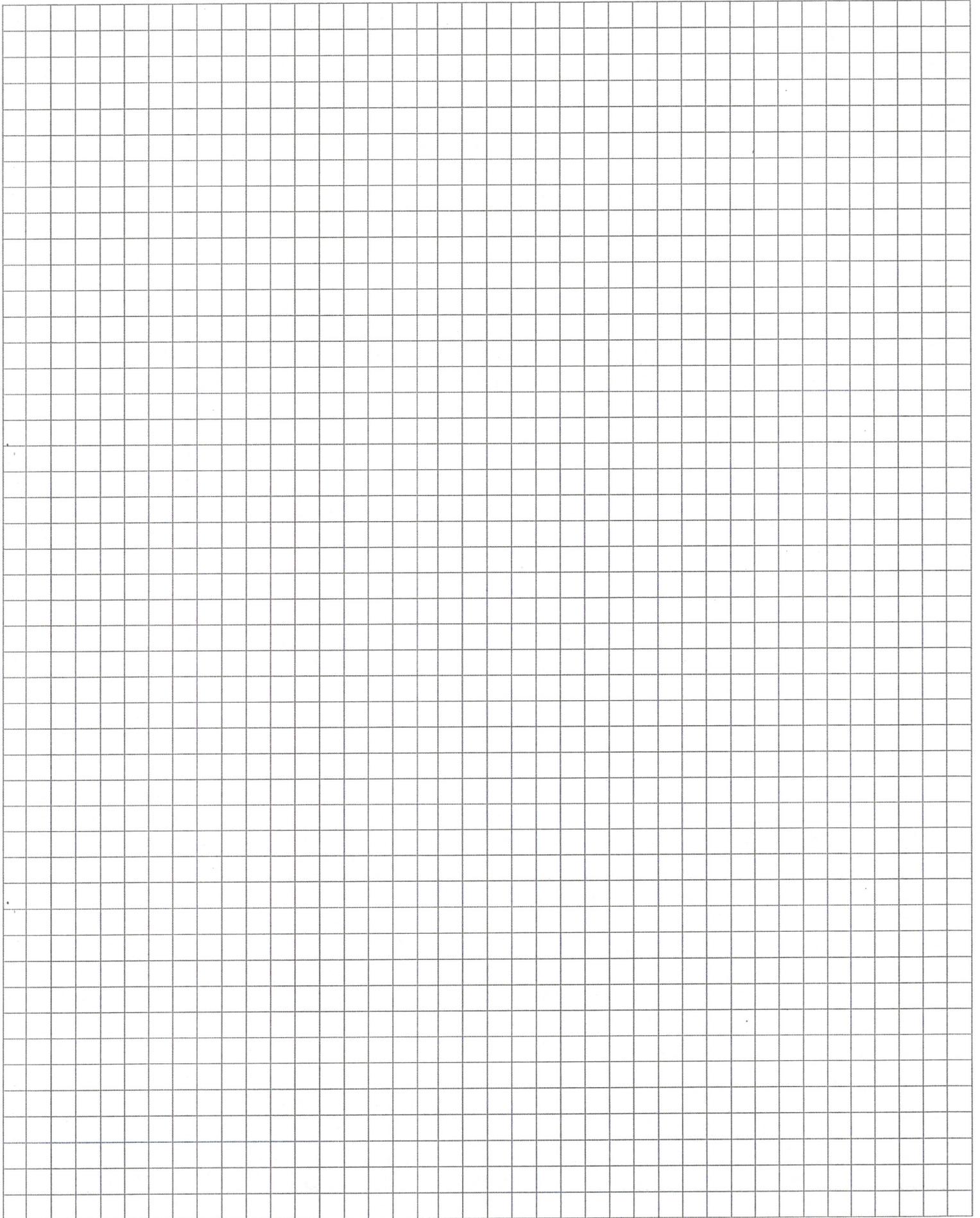
**VI. SIGN INFORMATION**

QUANTITY	TYPE OF SIGN (FASCIA, ROOF, POLE, ETC)	TYPE OF MATERIAL	LENGTH		WIDTH		NUMBER OF SIDES	TOTAL DISPLAY AREA	HEIGHT ABOVE STREET	
			FT	IN	FT	IN			FT	IN
1	Wall/Fascia	Aluminum Plate	1	.32	9	.6	1	9.3 sq ft		
1	Door/Window Vinyl	Vinyl		9.89	1	8	1	1.37 sq ft		
1	Door/Window Vinyl	Vinyl	1	5.77	1	8	1	2.47 sq ft		

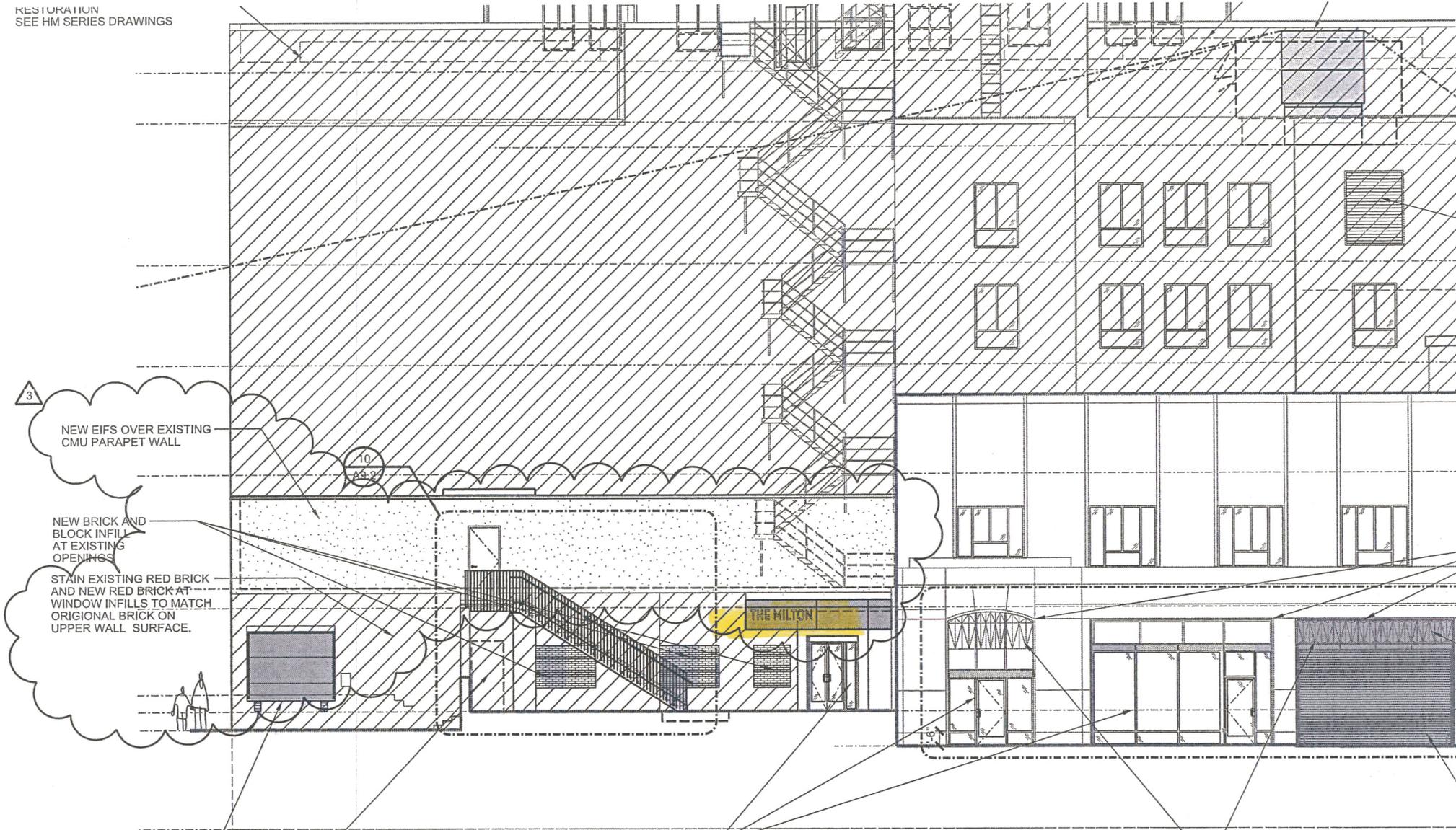
APPLICATIONS MUST INCLUDE CONSTRUCTION DRAWINGS AND SITE PLAN

**VII. COMMENTS/DESCRIPTION**

Wall sign mounted over the entrance on the southwest elevation.  
 Window vinyl attached to the entry door on the south elevation.  
 Window vinyl attached to the entry door on the south elevation.



RESTORATION  
SEE HM SERIES DRAWINGS



3  
NEW EIFS OVER EXISTING  
CMU PARAPET WALL

NEW BRICK AND  
BLOCK INFILL  
AT EXISTING  
OPENINGS

STAIN EXISTING RED BRICK  
AND NEW RED BRICK AT  
WINDOW INFILLS TO MATCH  
ORIGINAL BRICK ON  
UPPER WALL SURFACE.



NEW INSULATED  
SECTIONAL  
OH DOOR

NEW DOOR IN EXISTING  
OPENING BEHIND LANDING  
PLATFORM

EIFS NOTE: APPLY  
DRAINAGE LAYER AND  
INSULATION DIRECTLY  
TO CMU, PROVIDE FLAS  
HING WHERE EIFS  
MEETS BRICK BELOW  
TO CAP TOP OF BRICK

NEW ALUMINUM STOREFRONT

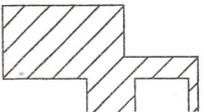
NOTE: FIELD VERIFY  
ALL FLOOR ELEVATIONS

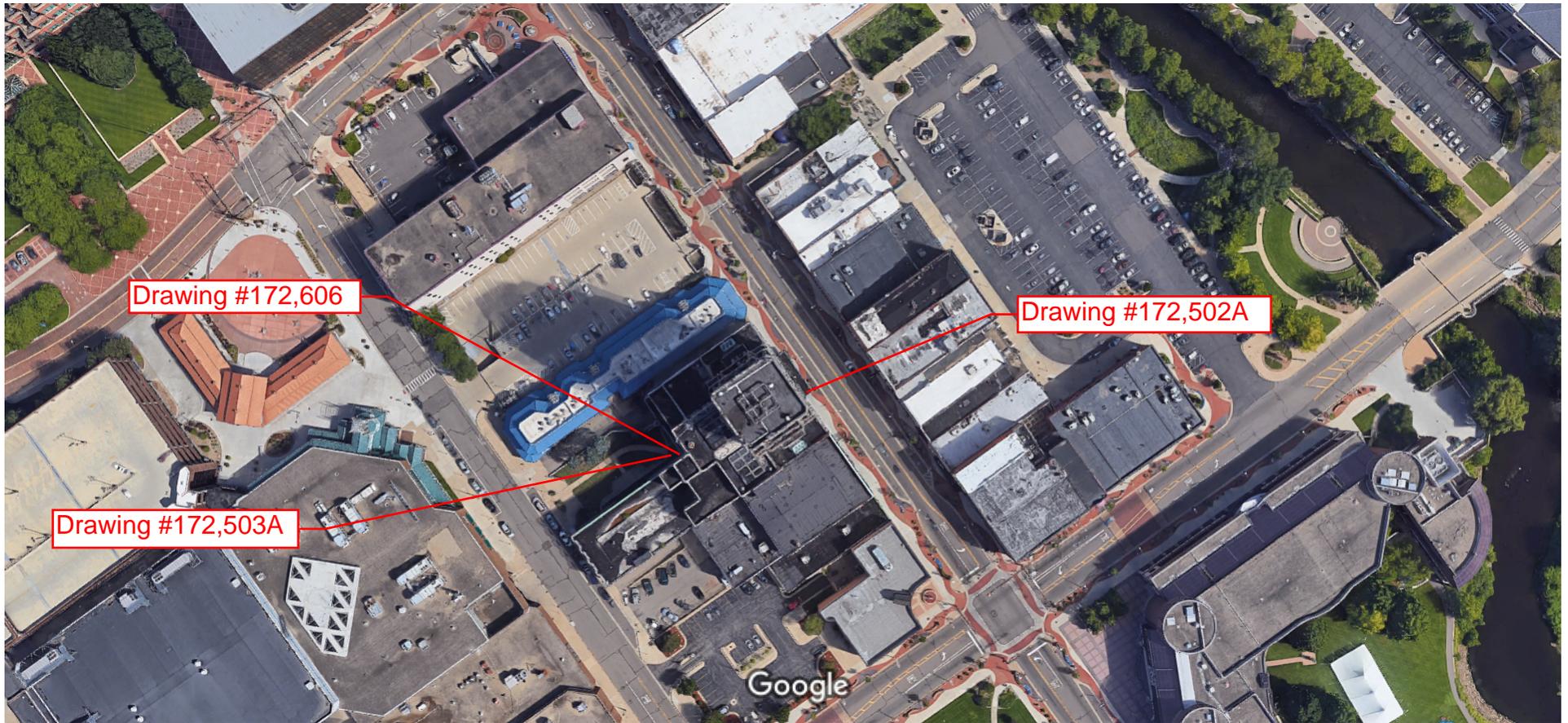
RESTORE EXISTING  
DECORATIVE METAL GRILLE

2 SOUTH ELEVATION

A1 SERIES

SCALE: 3/32"=1'-0"







## Battle Creek Historic District Commission

### Staff Report

215 West Michigan Avenue

Meeting: February 10, 2020

**To:** Historic District Commission

**From:** Eric Feldt, Planner, AICP, CFM

**Date:** February 3, 2020

**Subject:** The petition, filed by Peecoon & Lance Allen (Owners), is for the issuance of a Certificate of Appropriateness for exterior renovations at 215 West Michigan Avenue pursuant to Zoning and Historic District Commission requirements.

### Summary

Staff recommends approval of the subject petition (V20-0007) because the proposed renovations preserves the historic integrity of the building and site; meets Chapter 1470 Historic Preservation, Michigan's Local Historic Districts Act; and meets the criteria for the National Register of Historic Places.

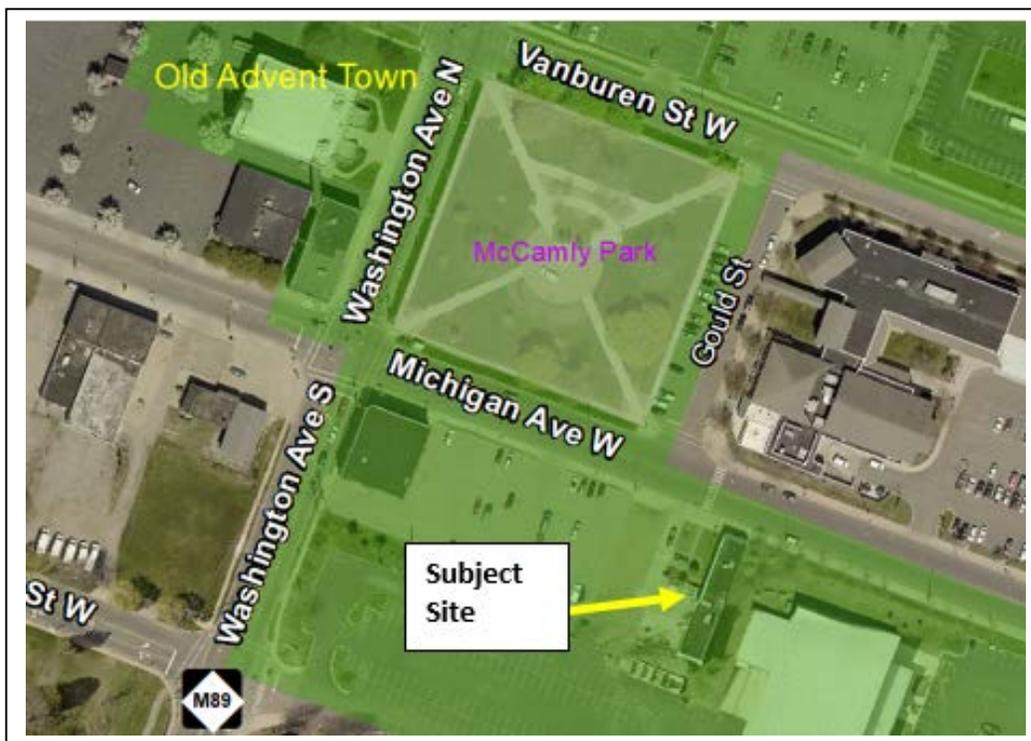


Figure 1: Arrow points to subject site (215 W. Michigan Ave.) located along W. Michigan Ave. just east of Gould Street within the Old Advent Town local historic district (shading).

## Site & History

As noted earlier, the subject building is located at 215 West Michigan Avenue within the Old Advent Town local historic district. Within the applicant's submitted material, there is a 1945 picture of the subject building showing the façade elevation, provided by the Willard Library Digital Collection. As seen in Figure 2, buildings had been built along both sides of the subject building. As of the date of this memorandum, those buildings no longer exist. A present-day image (Figure 3) shows a front porch area, railing, and second-story façade covering. As a result, most of the elements making up the historic appearance seen in Figure 2 have been lost. However, the present-day façade still provides an inviting facade consisting of large windows along the ground floor area and a visible entrance at the original location.

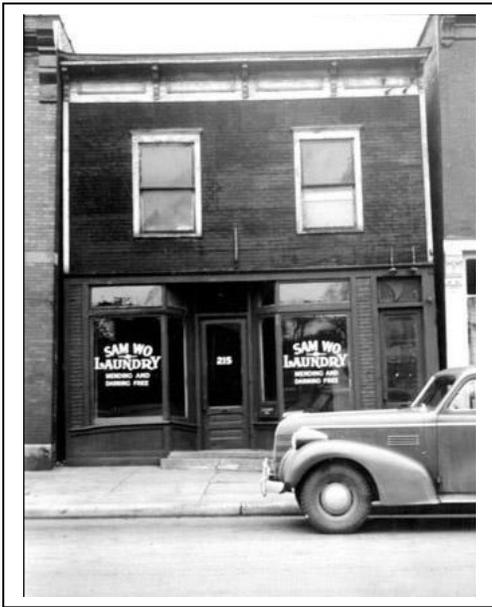


Figure 2. Picture of façade, dated 1945.



Figure 3. Present-day picture provided by applicant.

## Summary of Request

The property recently sold to new owners (Peecoon & Lance Allen) who wish to continue using the building as a restaurant. The previous restaurant business (Taste of India) will be replaced by the new owner's restaurant 'Umami Ramen', which will relocate from its current location (78 Calhoun Street) to the subject site. The new owners wish to renovate the interior and exterior of the building, as well as new additions to the site. Various site plans and floor plans showing the improvements are attached to this memorandum. Staff notes that the plans do not show any on-site parking. Customers are expected to use existing on-street parking and a public parking lot south of the site. The subject Certificate of Appropriateness addresses exterior renovations. Staff notes that interior changes do not require review or vote by the HDC. Construction plans and conceptual images are attached. Figures 4 & 5 show conceptual façade images.

Proposed exterior renovations include:

- Building exterior:
  - Remove paint and stucco over brick; restore brick, where necessary

- Enclose front vestibule consisting of hardboard, brick, and new aluminum windows.
- Add new outdoor cooler and freezer to back of building
- New windows and doors along west elevation
- New windows along south elevation (back)
- New goose-neck wall-mounted light fixtures along west elevation
- New freezers structure in location of shed. Dimensions: 12 feet wide x 12 feet long x 8 feet tall.
- Site:
  - New outdoor seating area adjacent to west elevation consisting of ground pavers, seasonal seating and tables, black steel poles used to fasten overhead fabric canopy (also seasonal), and two-foot tall perimeter planter boxes with exterior corrugated metal siding to match adjacent Reflection Park.
  - New dumpster enclosure consisting of concrete block walls with wood gate, located near back of building. Dimensions: 20 feet long by 8 feet deep by 8 feet tall.
  - Demolish small shed.
  - Removal of landscaping for new outdoor seating area.



Figure 4. 2006 image under ‘Tonys Chop Suey’ restaurant.



Figure 4. View of conceptual façade. Note new enclosure of front porch area and outdoor seating.



Figure 5. View of conceptual outdoor seating area along the western building elevation.

## **Analysis**

Staff notes that the subject building is a contributing historic resource to the Old Advent Town historic district, despite the significant changes to the facade. The contributing designation was likely determined in 1982 when the Old Advent Town historic district was established. However, today's facade resembles very little historic feature of its original character. As such, staff finds it appropriate to re-assess the contributing designation of this building in the future. The current proposal continues to change the facade but generally keeps large windows, centered door, solid base feature, and vertical columns. These features are provided in the historic image but within a modern context. The existing recessed ground-floor walls and doors seen in Figure 3 will remain intact to provide an enclosed porch.

Based on the applicant's plans, the outdoor seating area generally consists of simple features having non-descript architectural design. Staff notes that there is no historic standard applicable to outdoor seating or dining areas. However, the general design of the area should complement adjacent development or not negatively impact adjacent development.

The new dumpster enclosure is required by Ch. 1298 *Fences* and will block public views of the trash dumpster, recycle bin, and grease bin. Its rear yard location will make it even less visible from traffic and pedestrians along W. Michigan Avenue.

The proposal also consists of several new windows and doors to facilitate interior passage to the outdoor seating area and allow more light into the building. The windows generally consist of aluminum framing elements. There are several new wall-mounted lights to illuminate the new outdoor seating area. These lights fixtures consist of a goose-neck design and represent a general historic look without inappropriate historic embellishment.

**Applicable HDC Guidelines and Analysis for a Certificate of Appropriateness to install a new sign at 215 West Michigan Avenue.**

This property is reviewed in accordance with City of Battle Creek Building and Housing Code Chapter 1470 "Historic Preservation", as amended, the Michigan's Local Historic Districts Act, as amended, and the criteria for the National Register of Historic Places as outlined in the Secretary of the Interior's Standards and Guidelines.

Specifically, the Commission shall follow Section 1470.09 *Review of Applications*, as follows:

- (b) *The Commission shall also consider all of the following:*
- (1) *The historic or architectural value and significance of the resource and its relationship to the historic value of the surrounding area.*
  - (2) *The relationship of any architectural features of the resource to the rest of the resource and the surrounding area.*
  - (3) *The general compatibility of the design, arrangement, texture, and materials proposed to be used.*
  - (4) *Other factors, such as aesthetic value that the Commission finds relevant.*
- (c) *The Historic District Commission shall review and act upon only exterior features of a resource and shall not review and act upon interior arrangements...*

**And**

***1470.17 PRESERVATION OF HISTORIC FEATURES.***

- (a) *Every reasonable effort shall be made to provide a compatible use for a resource which requires minimal alteration of the building, structure or site and its environment, or to use the resource for its originally intended purpose.*

The building continues to be used as a restaurant with minor changes to the context of the façade appearance through providing several historic elements in modern form. The new outdoor dining and dumpster enclosure generally consists of neutral elements of appearance to the subject building and adjacent developments.

- (b) *The distinguishing original qualities or character of a resource and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features shall be avoided when possible.*

The distinguishing original qualities and character of the façade were changed under prior property owners. The overall appearance of the current façade is

considerably different than the original character. The proposed façade, however, will continue to use elements that have historic context but in modern appearance, such as large display windows and centered entrance door. Further, the new outdoor seating area will not destroy nor negatively impact the original qualities or character of the building or environment.

- (c) ***All resources shall be recognized as products of their own time. Alterations that have no historic basis and which seek to create an earlier appearance shall be discouraged.***

As described earlier, the proposed façade will not create an earlier appearance but will have some elements of historic context. The outdoor seating area will also not create an earlier appearance.

- (d) ***Changes which may have taken place in the course of time are evidence of the history and development of a resource and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.***

The changes to the façade occurring under previous owners are not in historic context of the original façade, therefore, have not acquired significance in their own right. The area of the proposed outdoor seating used to be developed with another building but was later demolished; no redevelopment has occurred in that area of the property.

- (e) ***Distinctive stylistic features or examples of skilled craftsmanship which characterize a resource shall be treated with sensitivity.***

Staff finds that the existing façade and other elevations do not exhibit distinctive stylistic features or examples of skilled craftsmanship due to the general use of simplistic window treatment, railings, and columns.

- (f) ***Deteriorated architectural features shall be repaired rather than replaced wherever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other resources.***

Much of the building is in good condition. As stated by the applicant, some brick elevations may need minor repair and cleaning, which will match existing color.

- (g) ***The surface cleaning of resources shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic materials shall not be undertaken.***

Intensive cleaning application such as sand blasting will not be necessary for the project. However, if the subject Certificate of Appropriateness is approved, the applicant shall use cleaning methods that are gentlest means possible to avoid damaging of historic material.

- (h) ***Every reasonable effort shall be made to protect and preserve archaeological resources affected by or adjacent to any project.***

At this time, staff is not aware of any known archaeological resources on the property or resources which may be affected as a result of the project. If archaeological resources are discovered during any necessary site improvements, the applicant should advise the City of Battle Creek. Staff recommends this as a condition of approval.

- (i) ***Contemporary design for alterations and additions to existing resources shall not be discouraged when such alterations and additions do not destroy significant historic, architectural or cultural material and when such design is compatible with the size, scale, color, material and character of the property, neighborhood or environment.***

As stated earlier, the significant historic appearance of the building's facade has been destroyed under previous owners. The proposed alteration of the facade and addition of an outdoor seating area will not destroy any current historic, architectural, or cultural material of the building or site.

- (j) ***Whenever possible, new additions or alterations to resources shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the resource would not be unimpaired.***

The addition of an outdoor seating area can be removed in the future without negatively effecting the form and integrity of the site. Further, the proposed alteration of the facade is retaining the existing facade walls and doorway.

### **Recommendation**

The proposal will allow for exterior building and site renovations, improvements under the new property owner. With staff's analysis of the application, the project complies with standards outlined in Chapter 1470 *Historic Preservation* and should be approved. As contained herein, staff is not aware of any issues that the Commission might find in conflict with Chapter 1470 *Historic Preservation*, the Michigan Local Historic Districts Act or the Secretary of the Interior's Standards and Guidelines.

**Therefore, planning staff recommends approval of a Certificate of Appropriateness for a restaurant renovation project at 215 West Michigan Avenue, as the request meets the standards outlined in Chapter 1470.09 “Review of Applications”, Chapter 1470.17 “Preservation of Historic Features” and the Secretary of the Interior’s Standards and Guidelines, as outlined in the staff report.**

Recommended Condition

- If archaeological resources are discovered during construction, the applicant shall advise the City of Battle Creek.



# City of Battle Creek

Department of Planning and Community Development  
10 N. Division Street, Ste. 117 • Battle Creek, Michigan 49014  
Phone: (269) 966-3320 • [www.battlecreekmi.gov](http://www.battlecreekmi.gov)

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## HISTORIC DISTRICT COMMISSION

Application for:

- Certificate of Appropriateness (for repairs or rehab projects)  
 Notice to Proceed (for demolition requests)  
 Minor Class of Work (admin approval)

Petition No. \_\_\_\_\_

Date Received: \_\_\_\_\_

### APPLICANT\*\*

NAME: Peecoon and Lance Allen

ADDRESS: 78 Calhoun Street, Battle Creek, MI

PHONE: (269) 967-6561 FAX: \_\_\_\_\_

EMAIL: info@umamiramenbc.com

### OWNER (if different from applicant)

NAME: Same as applicant

ADDRESS: \_\_\_\_\_

PHONE: \_\_\_\_\_ FAX: \_\_\_\_\_

EMAIL: \_\_\_\_\_

**\*\*If the applicant is not the property owner, a letter signed by the owner agreeing to the application to the Historic District Commission must be included with the application.**

### SUBMITTAL REQUIREMENTS/EXISTING CONDITIONS

Address(es) of property for which the request is being sought: 215 West Michigan Avenue

Current use of the property: A-2 Assembly (restaurant)

List existing structures on the property and the approximate age of each. \_\_\_\_\_

There is one building on the property that is approximately 100 years old.

Please list all activities/proposed work for the property area and how the proposed work relates to the building as a whole.

The building is being renovated into a new restaurant. The exterior brick that has been painted is going to have the paint removed and the exterior brick will be restored. The front vestibule will be enclosed to match the existing structure. A new CMU block dumpster enclosure will be added on the exterior as well as an outdoor cooler and freezer in the back of the property. On the exterior the existing "stage platform" will be painted to match the existing color as well as posts will be set for seasonal tensile canopies to provide shade to the outdoor area. The outdoor area will be enclosed with planter boxes to match the reflection park adjacent to the property.

Indicate in which manner the proposed work will result in changes to the size and/or appearance of the features outlined in this application.

The two coolers will each be 12'x12' and will be added to the south end of the building. The existing covered vestibule will be enclosed. The brick will have the stucco on the west side removed and the brick restored and the paint removed on the east side and brick restored.

Does the work proposed include maintenance/repair of existing features of the structure, or will it create new features that do not currently exist?

For the majority of the work, the scope is maintenance and repair. The only new features will be the exterior CMU trash enclosure and the cooler and freezer.

Please indicate the existing building materials of the following structural features and the proposed materials if that feature is included as part of the application.

	Existing Materials	Proposed Materials (if applicable)
Roof	<u>Built Up (not visible from grade)</u>	<u>TPO (No visible from grade)</u>
Windows	<u>Wood and Aluminum</u>	<u>Aluminum to match existing profile</u>
Siding	<u>Brick and Stucco</u>	<u>Brick</u>
Foundation	<u>Slab on Grade</u>	<u>Slab on Grade</u>
Other _____	_____	_____

**For Notice To Proceed requests only:**

What options have you explored for the repair or relocation of the structure proposed for demolition?

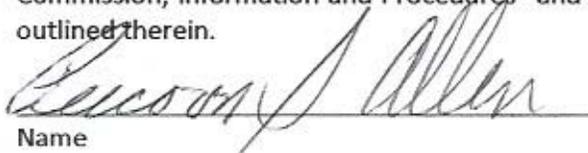
N/A

**SUBMITTAL REQUIREMENTS**

As outlined in "HDC, Information and Procedure", each request requires supplementary items that thoroughly describe the existing structure and proposed project. These items are to be submitted with the completed application; incomplete applications will not be forwarded to the Historic District Commission.

**APPLICANT SIGNATURE**

By signing this application, the applicant hereby declares that all answers given herein are true to the best of their knowledge, and confirms that all information required for Historic District Commission review has been submitted. Furthermore, the applicant confirms that they have thoroughly read the "Historic District Commission, Information and Procedures" and agrees to comply with all requirements and procedures outlined therein.

  
Name

1-29-2020  
Date





# UMAMI RAMEN

215 W. MICHIGAN AVE, BATTLE CREEK, MI

A/C	AIR CONDITIONING	FA	FIRE ALARM	MANF	MANUFACTURE(R)	S	SOUTH
ACP	ACOUSTICAL CEILING PANEL	FD	FLOOR DRAIN	MAS	MASONRY	SC	SOLID CORE
AD	AREA DRAIN	FDN	FOUNDATION	MATL	MATERIAL(S)	SCHED	SCHEDULE
ADA	AMERICANS WITH DISABILITIES ACT	FE	FIRE EXTINGUISHER	MAX	MAXIMUM	SECT	SECTION
ADJ	ADJUSTABLE	FEC	FIRE EXTINGUISHER CABINET	MECH	MECHANICAL	SF	SQUARE FEET
AFF	ABOVE FINISHED FLOOR	FF	FINISHED FACE	MEMB	MEMBRANE	SHT	SHEET
ALT	ALTERNATE	FGL	FIBERGLASS	MIN	MINIMUM	SIM	SIMILAR
ALUM	ALUMINIUM	FHC	FIRE HOSE CABINET	MISC	MISCELLANEOUS	SPEC(S)	SPECIFICATION(S)
APPROX	APPROXIMATELY	FIXT	FIXTURE	MO	MASONRY OPENING	SQ	SQUARE
ARCH	ARCHITECT(URAL, URE)	FL	FLOOR(ING)	MTD	MOUNTED	SS	STAINLESS STEEL
ASSOC	ASSOCIATED	FLUOR	FLUORESCENT	MTG	MOUNTING	STD	STANDARD
AUTO	AUTOMATIC	FOC	FACE OF CONCRETE	MTL	METAL	STL	STEEL
AWP	ACOUSTICAL WALL PANEL	FOS	FACE OF STUDS	N	NORTH	STN	STAIN
		FP	FIREPROOF(ING)	NAT	NATURAL	STO	STORAGE
BD	BOARD	FT	FEET	NIC	NOT IN CONTRACT	STRUC	STRUCTURAL
BIT	BITUMINOUS, BITUMEN	FTG	FOOTING	NO	NO	SUSP	SUSPENDED
BLDG	BUILDING	FUR	FURR(ED,ING)	NOM	NOMINAL	SYM	SYMMETRICAL
BLKG	BLOCKING			NTS	NOT TO SCALE	SYS	SYSTEM
BM	BEAM						
BOT	BOTTOM	GA	GAUGE	OC	ON CENTER	T	TREAD
		GALV	GALVANIZED	OD	OUTSIDE DIAMETER	T&G	TONGUE AND GROOVE
CAB	CABINET	GB	GRAB BAR	OH	OVERHEAD	T.O.	TOP OF
CJ	CONTROL JOINT	GC	GENERAL CONTRACT(OR)	TECH	TECHNOLOGY	TEL	TELEPHONE
CLG	CEILING	GL	GLASS, GLAZING	TEL	TELEPHONE	TEMP	TEMPERED
CLR	CLEAR(ANCE)	GOVT	GOVERNMENT	OPNG	OPENING	THK	THICK(NESS)
CMU	CONCRETE MASONRY UNIT	GT	GROUT	OPP	OPPOSITE	THRESH	THRESHOLD
COL	COLUMN	GWB	GYPSPUM WALLBOARD	OPP HD	OPPOSITE HAND	TOC	TOP OF CURB
COM	COMMUNICATIONS					TOM	TOP OF MASONRY
CONC	CONCRETE	HC	HOLLOW CORE	PART	PARTITION	TOS	TOP OF STEEL
CONFIG	CONFIGURATION	HDR	HEADER	PC	PRECAST	TOW	TOP OF WALL
CONST	CONSTRUCTION	HDWD	HARDWOOD	PERF	PERFORATE(D)	TRANS	TRANSPARENT
CONT	CONTINUOUS	HDWR	HARDWARE	PL	PLATE	TV	TELEVISION
COORD	COORDINATE	HGT	HEIGHT	PLAM	PLASTIC LAMINATE	TYP	TYPICAL
CORR	CORRIDOR	HM	HOLLOW METAL	PLAS	PLASTER		
CPT	CARPET	HORIZ	HORIZONTAL	PLWD	PLYWOOD		
CT	CERAMIC TILE	HP	HIGH POINT	PNL	PANEL(ED)		
CTR	CENTER	HR	HOUR	PR	PAIR		
		HT	HEIGHT	PREP	PREPARE (SURFACE)	UL	UNDERWRITER'S LABORATORY
DEG	DEGREE	HVAC	HEATING, VENTILATION & AIR CONDITIONING	PROV	PROVIDE	UNFIN	UNFINISHED
DF	DRINKING FOUNTAIN			PSF	POUNDS PER SQUARE FOOT	UON	UNLESS OTHERWISE NOTED
DIAG	DIAGONAL			PSI	POUNDS PER SQUARE INCH	VAR	VARIES
DIAM	DIAMETER	ID	INSIDE DIAMETER	PT	POINT	VCT	VINYL COMPOSITION TILE
DIM	DIMENSION	IN	INCH(ES)	PTD	PAINT(ED)	VERT	VERTICAL
DIV	DIVISION	INCAN	INCANDESCENT	PVMT	PAVEMENT	VEST	VESTIBULE
DN	DOWN	INCL	INCLUDE(D,ING)			VIF	VERIFY IN FIELD
DR	DOOR	INSUL	INSULATION, INSULATED	QTY	QUANTITY	VU	VENTILATION UNIT
DTL	DETAIL	INT	INTERIOR			VWC	VINYL WALLCOVERING
DWG(S)	DRAWING(S)						
		JAN	JANITOR	R	RISER	W	WEST
E	EAST	JT(S)	JOINT(S)	RAD	RADIUS	W/	WITH
EA	EACH			RB	RUBBER BASE	W/O	WITHOUT
EJ	EXPANSION JOINT	KIT	KITCHEN	REF	REFRIGERATOR	WC	WATER CLOSET
EL	ELEVATION			REINF	REINFORCED	WD	WOOD
ELEC	ELECTRICAL	LAM	LAMINATE(D)	REQD / REQ'D	REQUIRED	WDW	WINDOW
ELEV	ELEVATION	LAV	LAVATORY	RES	RESILIENT	WH	WALL HUNG
EMER	EMERGENCY	LBL	LABEL	RET	RETAINING	WP	WORK POINT
ENCL	ENCLOS(E,URE)	LH	LEFT HAND	REV	REVISION(S) / REVISE(D)	WT	WEIGHT
EQ	EQUAL	LL	LIVE LOAD	RFG	ROOFING	WWF	WELDED WIRE FABRIC
EQUIP	EQUIPMENT	LP	LOW POINT	RH	RIGHT HAND		
EST	ESTIMATE(D)	LTG	LIGHTING	RM	ROOM	#	NUMBER
EXIST	EXISTING	LTL	LINTEL	RO	ROUGH OPENING	&	AND
EXP	EXPANSION					+/-	EXIST (OR APPROX) DIM - VIF
EXT	EXTERIOR					CL	CENTER LINE
						L	ANGLE



SHEET NUMBER	DRAWING TITLE	1.2.2020 - ISSUED FOR CONSTRUCTION
00 ARCHITECTURAL		
T000	TITLE SHEET	X
T001	MOUNTING HEIGHTS + GENERAL NOTES	X
T002	CODE COMPLIANCE	X
01 ARCHITECTURAL		
A000	ARCHITECTURAL SITE PLAN	X
A100	DEMOLITION PLAN	X
A101	NEW FLOOR PLAN	X
A102	FINISH PLAN & SCHEDULE	X
A200	REFLECTED CEILING AND ROOF PLAN	X
A300	EXTERIOR ELEVATIONS	X
02 MEP		
MEP101	MECH, ELEC, PLUMB SPECS/NOTES	X
03 EQUIPMENT		
K101	EQUIPMENT PLAN	X
Grand total: 11		

### GENERAL NOTES

- CONSTRUCTION MUST COMPLY WITH ALL NATIONAL, STATE AND LOCAL BUILDING CODES, 2015 MICHIGAN BUILDING CODE, AND THE CITY OF BATTLE CREEK ORDINANCES.
- DO NOT SCALE DRAWINGS. NOMINAL DIMENSIONS ARE SHOWN. REFER TO DETAILS, NOTES, SPECIFICATIONS AND PARTITION KEY FOR INFORMATION. CONTACT ARCHITECT IF ADDITIONAL INFORMATION IS REQUIRED.
- EXISTING BUILDING INFORMATION WAS OBTAINED FROM THE OWNER AND ADDITIONAL FIELD MEASUREMENTS BY THE ARCHITECT. THE CONTRACTOR SHALL VERIFY ALL EXISTING FIELD CONDITIONS PRIOR TO COMMENCEMENT OF WORK. IF DISCREPANCIES ARE DISCOVERED BETWEEN FIELD MEASUREMENTS, OR FIELD OBSERVATION AND THE CONSTRUCTION DOCUMENTS, THE GENERAL CONTRACTOR SHALL CONTACT THE ARCHITECT FOR CLARIFICATION.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS RELATING TO THE PROJECT BY FIELD MEASUREMENT. PRIOR TO ORDERING MATERIAL AND/OR COMMENCING WORK, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER QUANTITIES AND SIZES TO BE COORDINATED WITH FIELD CONDITIONS.
- INSTRUCTIONS FOR BUILDING CONSTRUCTION MAY BE LOCATED IN ANY PART OF THE CONSTRUCTION DRAWINGS. FAILURE OF THE GENERAL CONTRACTOR OR HIS SUB CONTRACTORS AND SUPPLIERS TO SEE INFORMATION IN ANY PART OF THE CONTRACT DOCUMENTS WILL NOT BE A VALID REASON FOR ISSUING A CHANGE ORDER.
- ALL HOLES CREATED FROM ABANDONED DUCT, CONDUIT, ELEC. DEVICES, ETC., WHICH ARE IN VIEW AND ARE NOT SCHEDULED TO BE BOARDED OVER, OR ON A WALL TO BE DEMOLISHED, ARE TO BE FILLED AND PATCHED TO MATCH EXISTING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING REQUIRED TO EXECUTE WORK.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL SURFACES NOT BEING REMODELED IN THE PROJECT AND IN THE PATH OF THE CONTRACTORS TRAVEL. SETUP AND/OR PROJECT MATERIAL STORAGE. THE CONTRACTOR MUST RETURN THE AREAS DISTURBED AS REQUIRED FOR ACCESS TO ITS PRE-EXISTING CONDITION.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN AND PAY FOR ALL LOCAL/REQUIRED PERMITS AND INSPECTIONS.
- ALL SAFETY ISSUES RELATED TO CONSTRUCTION ARE THE RESPONSIBILITY OF THE CONTRACTOR AND MUST COMPLY WITH ALL STATE, LOCAL, ENVIRONMENTAL AND LABOR LAWS DURING THE CONSTRUCTION OF THIS PROJECT.
- ALL WORK TO BE GUARANTEED A MINIMUM OF ONE YEAR FROM THE DATE OF OWNER ACCEPTANCE OF WORK. EXCEPT WHERE MANUFACTURER'S GUARANTEE IS LONGER.
- IF DISCREPANCIES OCCUR BETWEEN DRAWINGS & FIELD CONDITIONS CONTACT THE ARCHITECT TO VERIFY HOW TO PROCEED BEFORE DOING SO.

### REFERENCED CODES

- 2015 MICHIGAN REHABILITATION CODE
- 2015 MICHIGAN PLUMBING CODE
- 2015 MICHIGAN MECHANICAL CODE
- 2017 NATIONAL ELECTRICAL CODE

REHABILITATION - LEVEL 2 REHABILITATION (INTERIOR RENOVATION ONLY)  
 ZONING - I-1 INDUSTRIAL (NO CHANGE)  
 USE GROUP - A-2 ASSEMBLY (NO CHANGE)  
 CONSTRUCTION TYPE - III-B (NO CHANGE)

PROJECT DESCRIPTION: THE EXISTING BUILDING, WHICH WAS A RESTAURANT, WILL BE RENOVATED WITH NEW INTERIOR FINISHES AND LAYOUT. THE EXISTING EXTERIOR PATIO IS TO BE REVISED AS WELL. THERE IS NO CHANGE TO THE SIZE OF THE PROPERTY OF BUILDING AS PART OF THE SCOPE OF THIS PROJECT.

### AREA MAP

ISSUE: CONSTRUCTION DOCUMENTS

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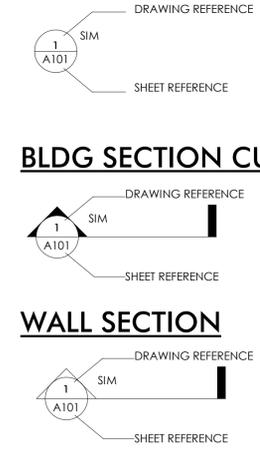
PROJECT: 2019.15

SHEET: T000

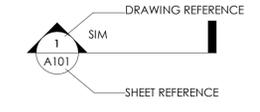
## MATERIAL DESIGNATIONS & SYMBOLS

	EXISTING WALL TO REMAIN	<b>Room name</b>	ROOM NUMBER
	NEW WALL	<b>101</b>	FINISH TYPE
	ELEMENTS TO BE REMOVED	<b>(11)</b>	DOOR NUMBER
	EXTENT OF WORK	<b>(11)</b>	WALL TYPES
	CMU	<b>(11)</b>	WINDOW NUMBER
	CONCRETE	<b>(11)</b>	EXISTING ELEVATION
	WOOD BLOCKING	<b>(11)</b>	NEW ELEVATION
	STEEL (LARGE SCALE)		BATT INSULATION
	PLASTER		
	RIGID INSULATION		
	PLYWOOD		
	MILLWORK		

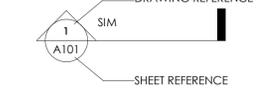
## DETAIL / PLAN / ELEVATION



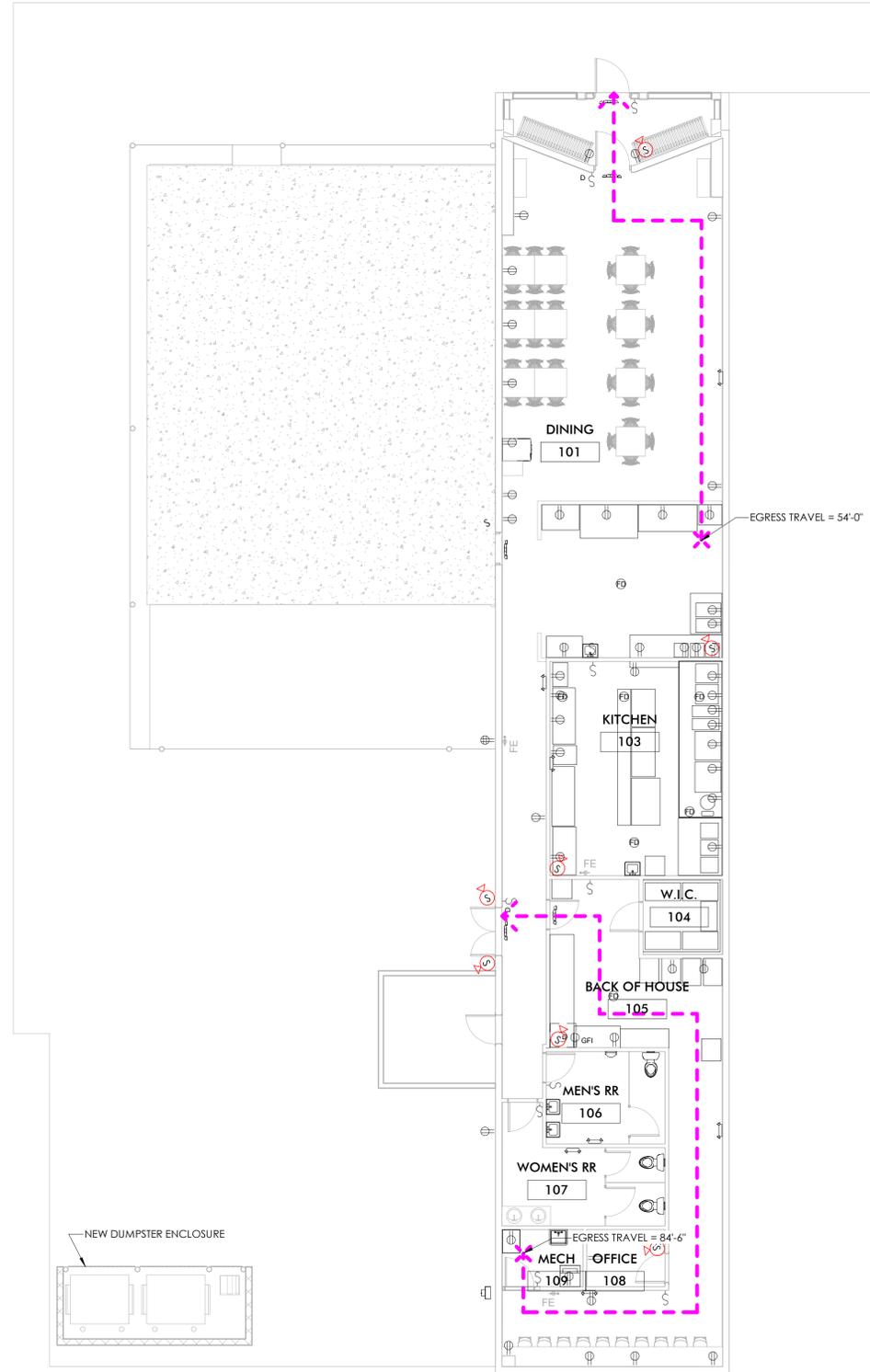
### BLDG SECTION CUT



### WALL SECTION







**1** CODE COMPLIANCE  
1/8" = 1'-0"

CODE COMPLIANCE			
TOPIC	SECTION	ALLOWED/REQUIRED	ACTUAL
JURISDICTION			
CITY OF BATTLE CREEK			
REHABILITATION			
CODE INFORMATION	504	LEVEL 2 REHABILITATION	INTERIOR RENOVATION ONLY
TYPE OF CONSTRUCTION			
TYPE OF CONSTRUCTION	TABLE 601		III-B
GROSS BUILDING AREA			
1 - FIRST FLOOR			2,910 SF
USE			
BUILDING USE	303.4	BEFORE - A2 ASSEMBLY	AFTER - A2 ASSEMBLY
ZONING			
ZONING	CITY OF BATTLE CREEK		I-1 INDUSTRIAL (NO CHANGE)
OCCUPANCY			
ASSEMBLY (DINING)	TABLE 1004.1.2	1,037 SF/15	70 PEOPLE
ASSEMBLY (EXTERIOR PATIO)	TABLE 1004.1.2	1,606 SF/15	108 PEOPLE
KITCHEN	TABLE 1004.1.2	1,873 SF/200	10 PEOPLE
TOTAL OCCUPANT LOAD			188 PEOPLE
WATER CLOSET			
WATER CLOSETS	TABLE 403.1	2 MALE / 2 FEMALE	2 MALE / 2 FEMALE
LAVATORY REQUIREMENTS			
LAVATORIES	TABLE 403.1	1 MALE / 1 FEMALE	2 MALE / 2 FEMALE
DRINKING FOUNTAIN			
DRINKING FOUNTAIN	TABLE 403.1	NOT REQUIRED, FREE WATER WILL BE PROVIDED IN THE RESTAURANT	NOT PROVIDED
SERVICE SINK			
SERVICE SINK	TABLE 403.1	1 REQUIRED	1 PROVIDED
FIRE SUPPRESSION			
AUTOMATIC SPRINKLER SYSTEM	903.2.1.3	NOT REQUIRED LESS THAN 12,000 SF	NOT PROVIDED
HEIGHT AND BUILDING AREA			
BASE STORIES ALLOWED	TABLE 504.4	2 STORIES	1 STORY
TABULAR AREA	TABLE 506.2	9,500 SF	2,910 SF
TABULAR HEIGHT	TABLE 504.3	55 FEET	17 FEET 8 INCHES
ROOF ASSEMBLY			
	N/A		NEW TPO ROOF TO BE PROVIDED
ELECTRICAL			
EMERGENCY LIGHTING	1008.1	WILL COMPLY	ON COMPLIANCE DWGS
EMERGENCY POWER	1008.3.2, 1008.3.3	WILL COMPLY	ON COMPLIANCE DWGS
EXIT SIGNS	1011.1	WILL COMPLY	ON COMPLIANCE DWGS
EXITS			
DOOR EGRESS WIDTH	1005	36 INCHES	132 INCHES
EXIT ACCESS TRAVEL DISTANCE	TABLE 1017.2	200 FEET	85 FEET
NUMBER OF EXITS	TABLE 1006.3.1	2 EXITS	3 EXITS

**COMPLIANCE LEGEND**

SYMBOL	ITEM
FE	FIRE EXTINGUISHER
⊕	EGRESS LIGHTING
↔	EXIT SIGN W/EGRESS LIGHTS
—	TRAVEL DISTANCE
- - -	1 HOUR WALL
- . - . -	2 HOUR WALL
Ⓢ	SECURITY CAMERA

\*PLEASE ENSURE THIS SHEET IS IN COLOR. IF NOT IN COLOR OBTAIN A COLOR SHEET BEFORE REVIEWING.

CODE COMPLIANCE  
UMAMI RAMEN  
215 W. MICHIGAN AVE, BATTLE CREEK, MI  
UMAMI RAMEN

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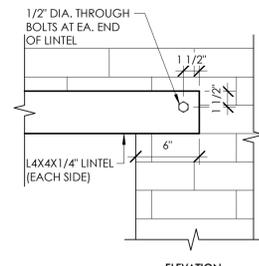
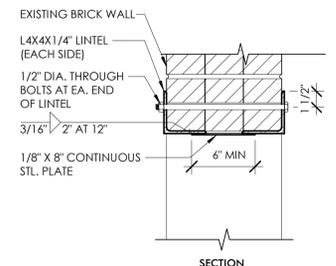
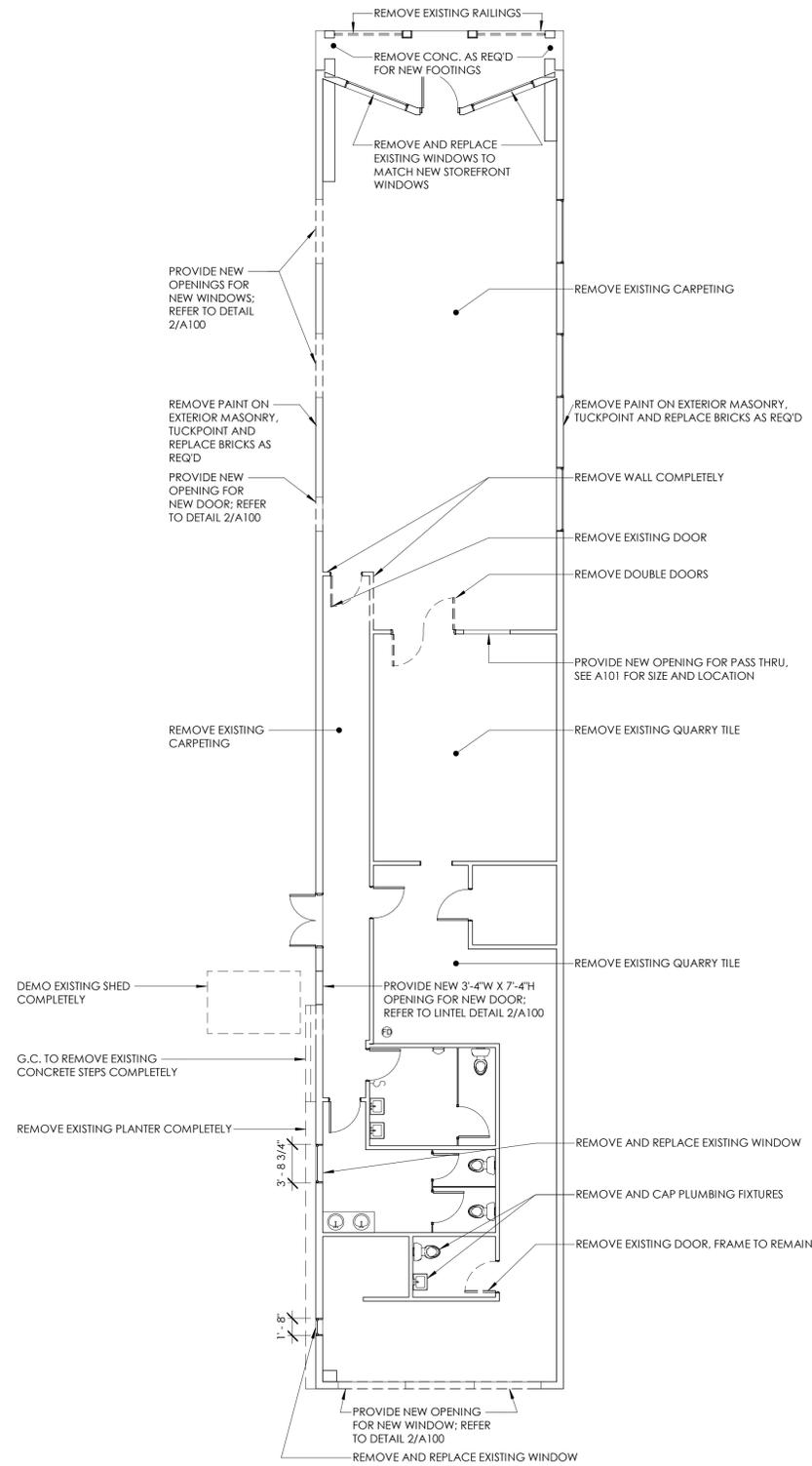
PROJECT 2019.15  
SHEET

**T002**



**GENERAL NOTES**

1. REMOVE ALL DASHED WALLS, WINDOWS, AND DOORS COMPLETELY.
2. PATCH AND FILL ANY HOLES IN THE WALL CAUSED BY THE REMOVAL OF DOORS, WINDOWS, OR WALLS TO MATCH SURROUNDINGS.
3. SHORE ALL WALLS AS REQUIRED DURING DEMOLITION.
4. CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL SURFACES NOT BEING REMODELED IN THE PROJECT AND IN THE PATH OF THE CONTRACTORS TRAVEL, SETUP AND/ OR PROJECT MATERIAL STORAGE. THE CONTRACTOR MUST RETURN THE AREAS DISTURBED AS REQUIRED FOR ACCESS TO ITS PRE-EXISTING CONDITION.
5. ANY HAZARDOUS MATERIALS ARE TO BE REMOVED BY A LICENSED PROFESSIONAL IN THE STATE OF MICHIGAN.
6. ALL SAFETY ISSUES RELATED TO DEMOLITION ARE THE RESPONSIBILITY OF THE CONTRACTOR AND MUST COMPLY WITH ALL STATE, LOCAL, ENVIRONMENTAL AND LABOR LAWS DURING THE CONSTRUCTION OF THIS PROJECT.
7. SEQUENCE DEMOLITION WITH STRUCTURAL WORK TO ASSURE SAFETY. PROVIDE SHORING AS REQ'D TO ENSURE SAFE CONDITIONS EXIST. SHORING IS NOT SHOWN ON PLANS.
8. ALL TRADES TO COORDINATE BETWEEN ONE ANOTHER TO AVOID CONFLICTS.
9. REMOVE PAINT FROM EXTERIOR BRICK USING THE GENTLEST MEANS POSSIBLE, REPLACE DAMAGED BRICKS AND TUCKPOINT AS REQUIRED.
10. SEE A000 FOR SITE DEMOLITION SCOPE.



**1 FIRST FLOOR DEMOLITION PLAN**  
1/8" = 1'-0"

**2 BRICK LINTEL DETAIL**  
1 1/2" = 1'-0"

DEMOLITION PLAN  
UMAMI RAMEN  
215 W. MICHIGAN AVE, BATTLE CREEK, MI  
UMAMI RAMEN

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**A100**

DOOR NUMBER	NEW OR EXIST	DOOR TYPE	DOOR SIZE			DOOR MATL		DOOR FRAME DETAILS			COMMENTS
			WIDTH	HEIGHT	THICKNESS	MATL	MATL	HEAD	JAMB	SILL	
101	NEW	MS	3'-6"	7'-0"	1 3/4"	ALUM.	ALUM.	EXIST	EXIST	EXIST	NEW DOOR TO MATCH EXISTING
102	EXIST	MS	3'-6"	7'-0"	1 3/4"	ALUM.	ALUM.	EXIST	EXIST	EXIST	
103	NEW	MS	3'-0"	7'-0"	1 3/4"	ALUM.	ALUM.	EXIST	EXIST	EXIST	NEW DOOR TO MATCH EXISTING
104	EXIST	F	3'-0"	6'-8"	1 3/4"	WOOD	WOOD	EXIST	EXIST	EXIST	
105	EXIST	F	3'-0"	6'-8"	1 3/4"	WOOD	WOOD	EXIST	EXIST	EXIST	
106	NEW	G	5'-0"	7'-0"	1 3/4"	WOOD	WOOD	EXIST	EXIST	EXIST	
107	EXIST	F	3'-0"	6'-8"	1 3/4"	WOOD	WOOD	EXIST	EXIST	EXIST	
108	EXIST	F	3'-0"	6'-8"	1 3/4"	WOOD	WOOD	EXIST	EXIST	EXIST	
109	NEW	FG	3'-0"	7'-0"	1 3/4"	WOOD	WOOD	EXIST	EXIST	EXIST	NEW FULL GLASS DOOR IN EXISTING FRAME
110	NEW	F	3'-0"	6'-8"	1 3/4"	WOOD	WOOD	2/A101	3/A101		

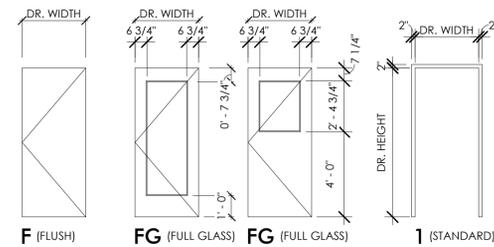
\*ALL DOORS TO HAVE ADA COMPLIANT LEVER HARDWARE. REPLACE EXISTING DOOR HARDWARE AS REQUIRED

**ABBREVIATIONS**

WOOD - WOOD VENEER ON SOLID CORE WOOD DOOR  
H.M. - HOLLOW METAL  
PT - INTERIOR PAINT SYSTEM  
EXIST. - EXISTING  
ALUM - ALUMINUM  
FGT - CLEAR TEMPERED GLAZING

**GENERAL NOTES**

1. REFER TO DOOR SCHEDULE FOR HEIGHTS, WIDTHS AND GLAZING TYPES.

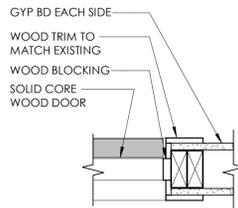


**DOOR TYPES**

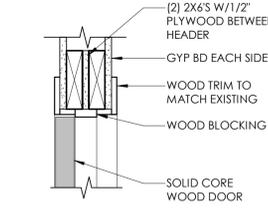
NOTE: REFER TO DOOR SCHEDULE FOR HEIGHTS / WIDTHS AND GLAZING TYPE

**FRAME TYPES**

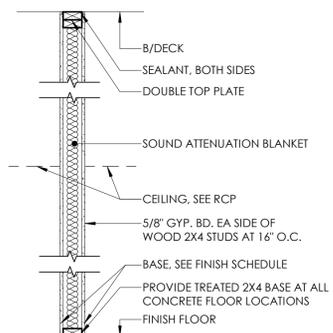
NOTE: REFER TO DOOR SCHEDULE FOR HEAD, JAMB, AND SILL DETAILS



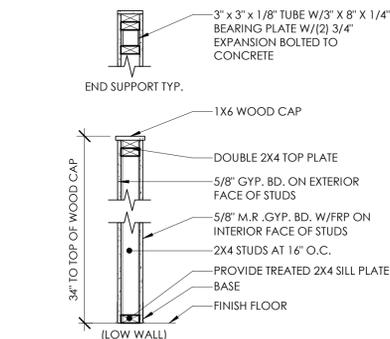
2 JAMB DETAIL - GYP. BD.  
A101 1 1/2" = 1'-0"



3 HEAD DETAIL - GYP. BD.  
A101 1 1/2" = 1'-0"



4 PARTITION TYPE - 1  
A101 3/4" = 1'-0"

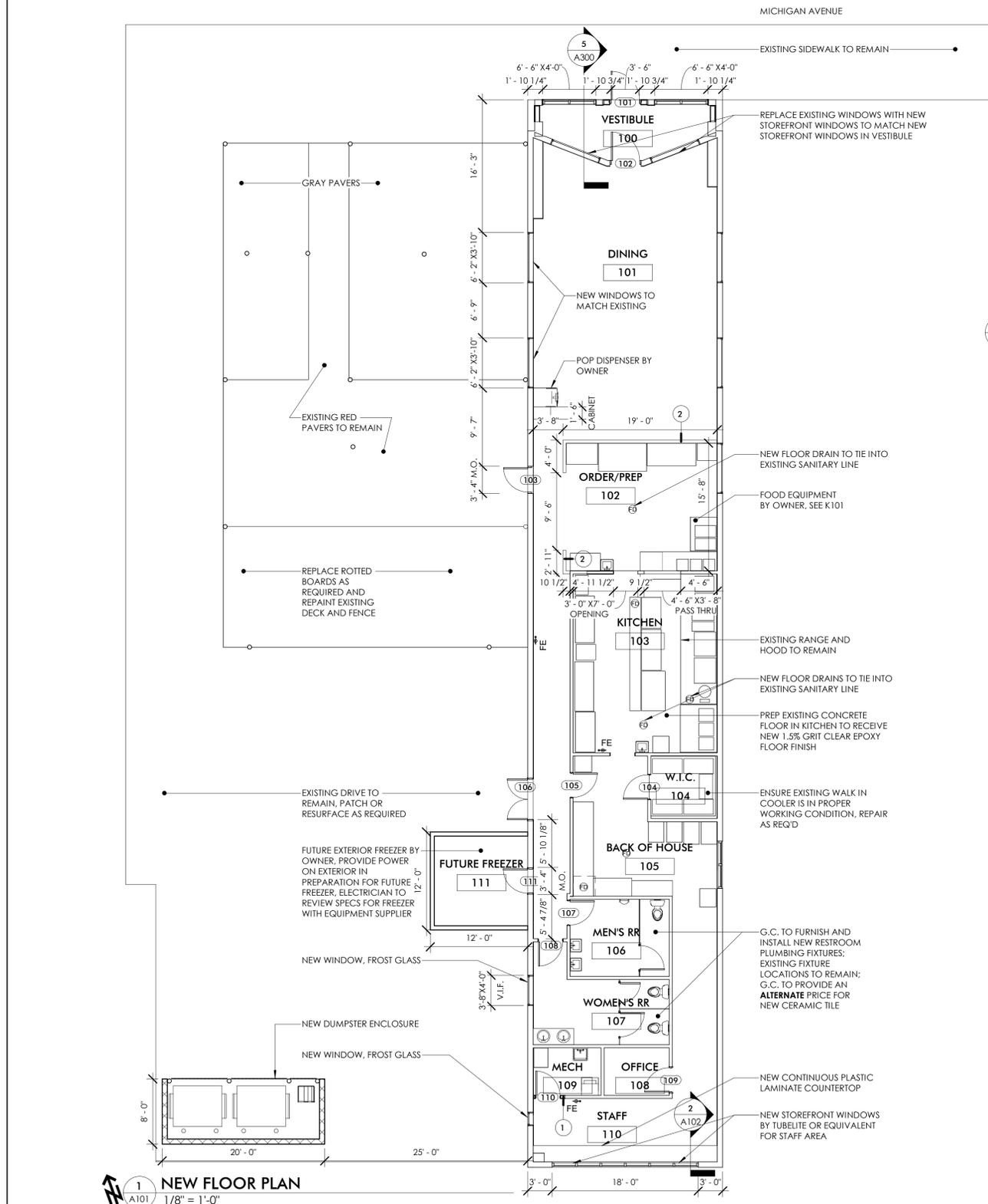


5 PARTITION TYPE - 2  
A101 NO SCALE

**GENERAL NOTES**

**ALTERNATES**

1. PROVIDE PRICING FOR REPLACING ALL TILE IN THE MEN'S AND WOMEN'S RESTROOM. TILE TO BE SELECTED BY THE OWNER.
2. PROVIDE PRICING FOR A 12'X12'X8" EXTERIOR FREEZER. PROVIDE MASONRY OPENING REGARDLESS OF DECISION TO PURCHASE FREEZER NOW OR LATER.
3. PROVIDE PRICING TO INSTALL TENSILE CANOPY TO BE PROVIDED BY OWNER.



1 NEW FLOOR PLAN  
A101 1/8" = 1'-0"

NEW FLOOR PLAN  
UMAMI RAMEN  
215 W. MICHIGAN AVE, BATTLE CREEK, MI  
UMAMI RAMEN

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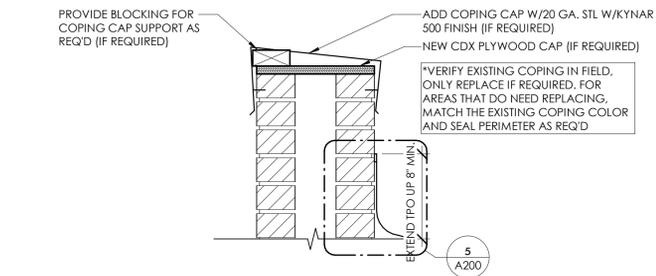
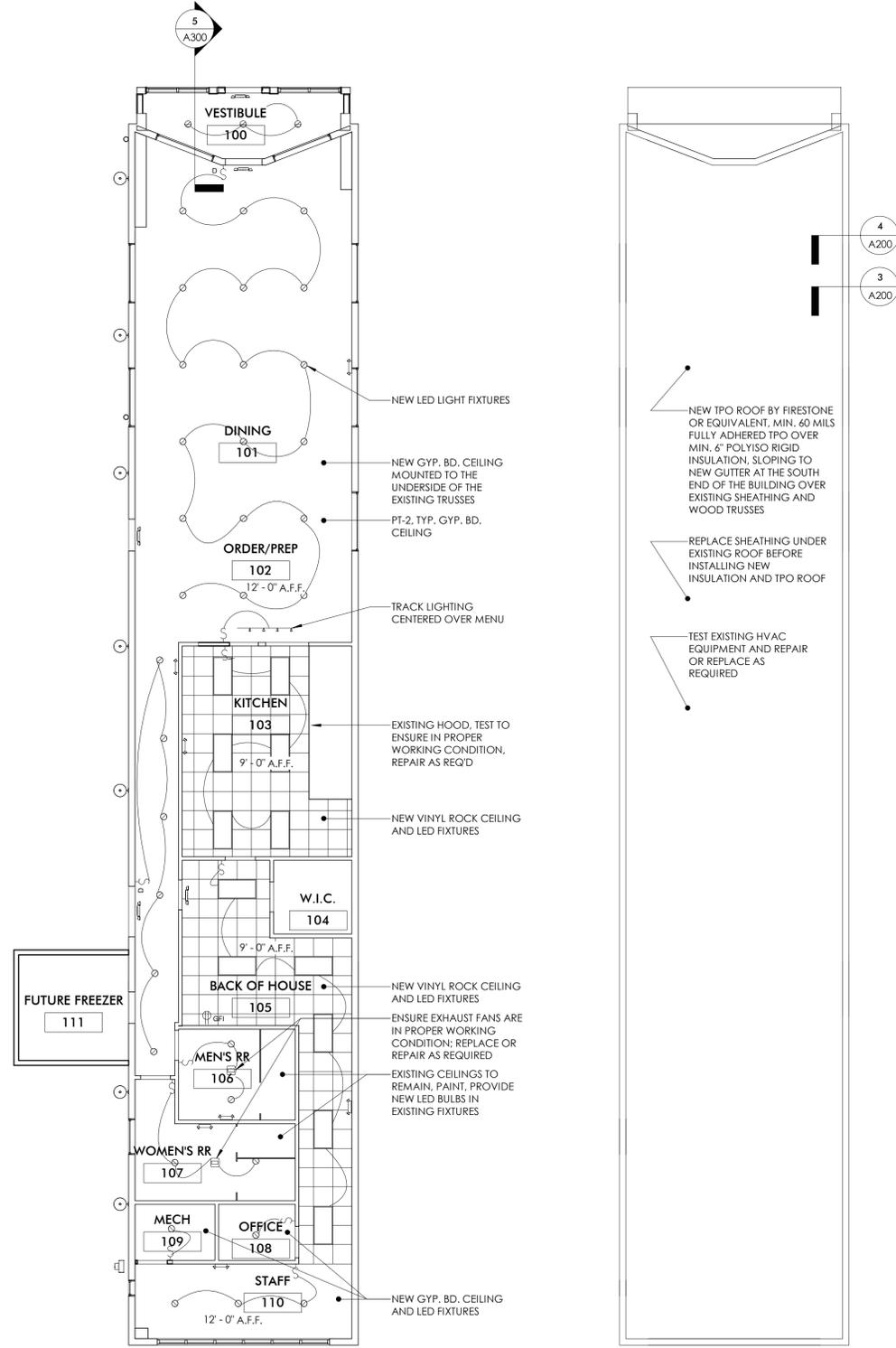
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**A101**

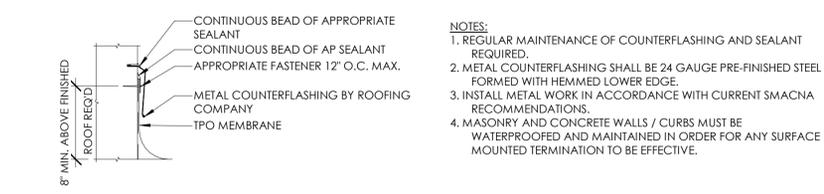


**GENERAL NOTES**

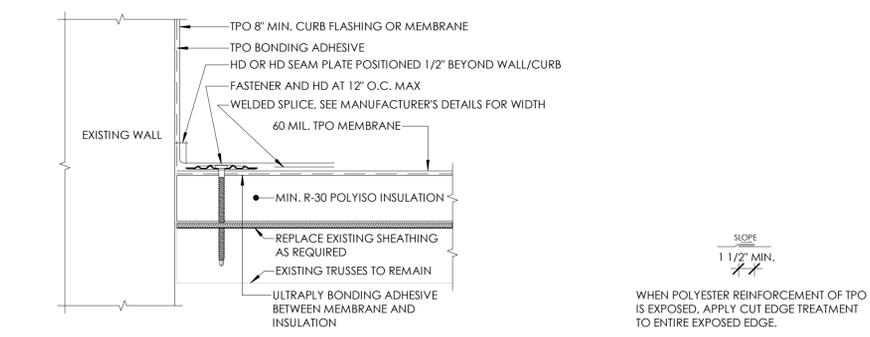
1. ALL LIGHT SWITCHES SHALL BE SILENT TYPE, HOSPITAL GRADE, 20 AMP, WHITE COLOR WITH WHITE COVER PLATES.
2. ALL NEW LIGHT FIXTURES TO BE LED. FIXTURES AND LAYOUT ARE SHOWN SCHEMATICALLY.
3. IF CEILING HEIGHTS ARE NOT CALLED OUT, THEN THE CEILING IS EXISTING OR SHALL BE EXPOSED TO THE EXISTING STRUCTURE ABOVE. ALL EXPOSED CEILINGS TO BE PAINTED BLACK.
4. COORDINATE LIGHT FIXTURE, MECHANICAL, PLUMBING, ALONG WITH ANY OTHER SYSTEMS AS REQUIRED TO NOT INTERFERE WITH ONE ANOTHER.
5. ALL LIGHT FIXTURES AND HVAC SHALL BE CENTERED IN ALL ROOMS, CLOUDS OR BETWEEN OTHER ELEMENTS OR EQUALLY SPACED UNLESS NOTED OTHERWISE.
6. SEE MEP101 FOR ADDITIONAL MECHANICAL, ELECTRICAL, AND PLUMBING NOTES.
7. REPLACE ANY CEILING TILES IN CEILINGS THAT ARE TO REMAIN.



**4 COPING CAP SECTION AT EXISTING PARAPET**  
1 1/2" = 1'-0"



**5 TERMINATION WITH REGLET COUNTERFLASHING**  
1 1/2" = 1'-0"



**6 ROOF SEAM DETAIL**  
1" = 1'-0"

**ELECTRICAL SYMBOLS**  
1/4" = 1'-0"

- TRACK LIGHTING
- DUSK TO DAWN EXTERIOR GOOSENECK LED LIGHT FIXTURE
- FAN/LIGHT COMBO UNIT, MIN. 100 CFM
- 8" LED CAN LIGHT (DIMMABLE)
- EMERGENCY EGRESS EXIT SIGN AND LIGHTS WITH BATTERY BACK UP
- EMERGENCY EGRESS LIGHTING
- THREE-WAY SWITCH
- SWITCH
- GROUNDING FAULT INTERCEPTOR OUTLET
- QUADRUPEX OUTLET
- DUPLEX OUTLET

REFLECTED CEILING AND ROOF PLAN  
UMAMI RAMEN  
215 W. MICHIGAN AVE, BATTLE CREEK, MI  
UMAMI RAMEN

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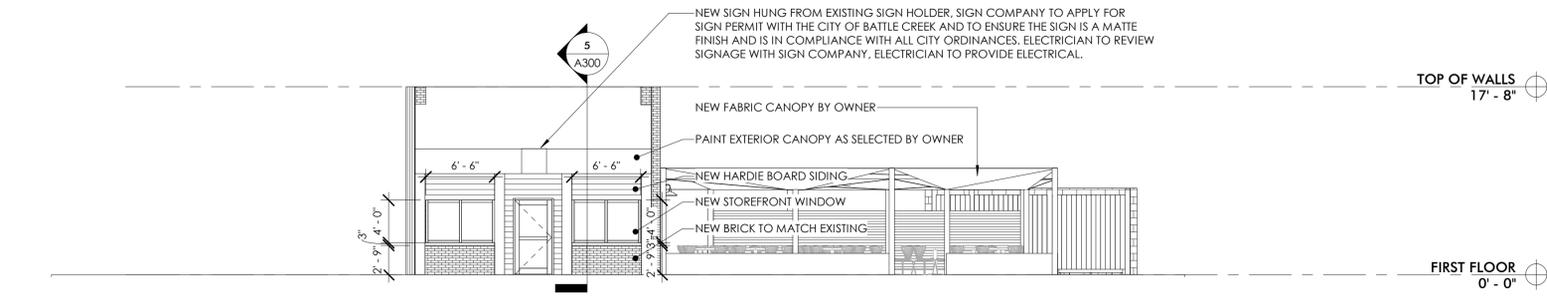
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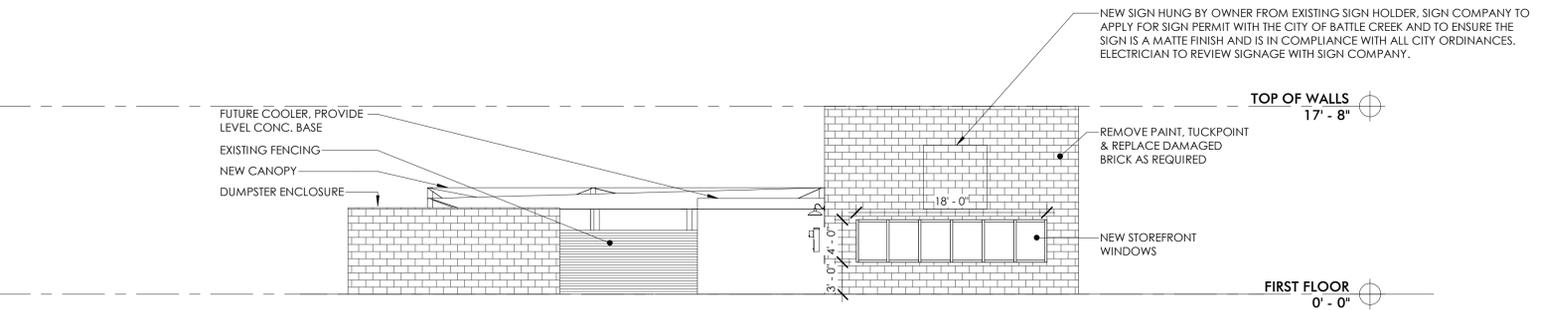
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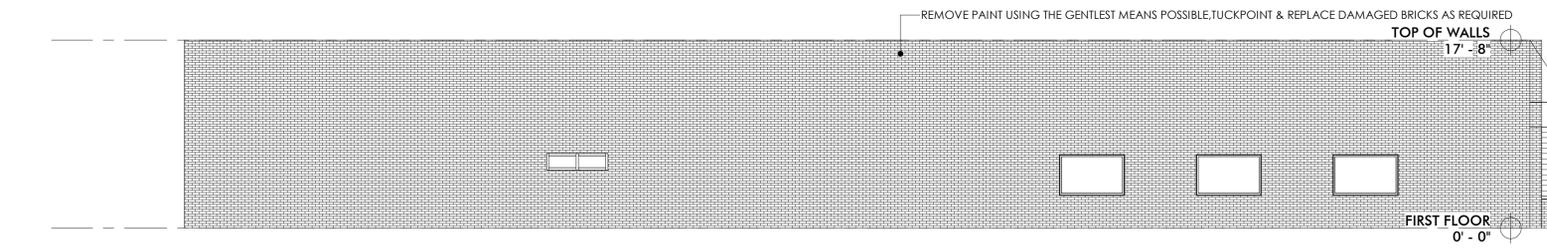
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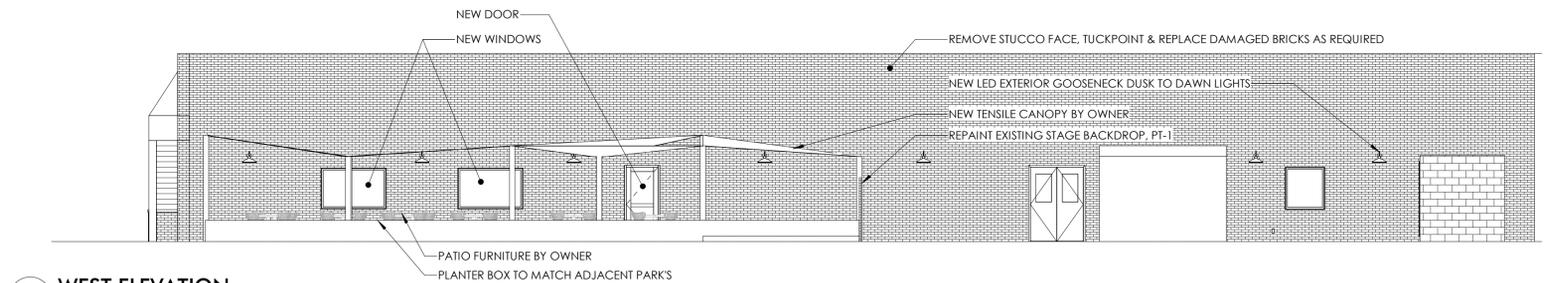
**1 NORTH ELEVATION**  
A300 1/8" = 1'-0"



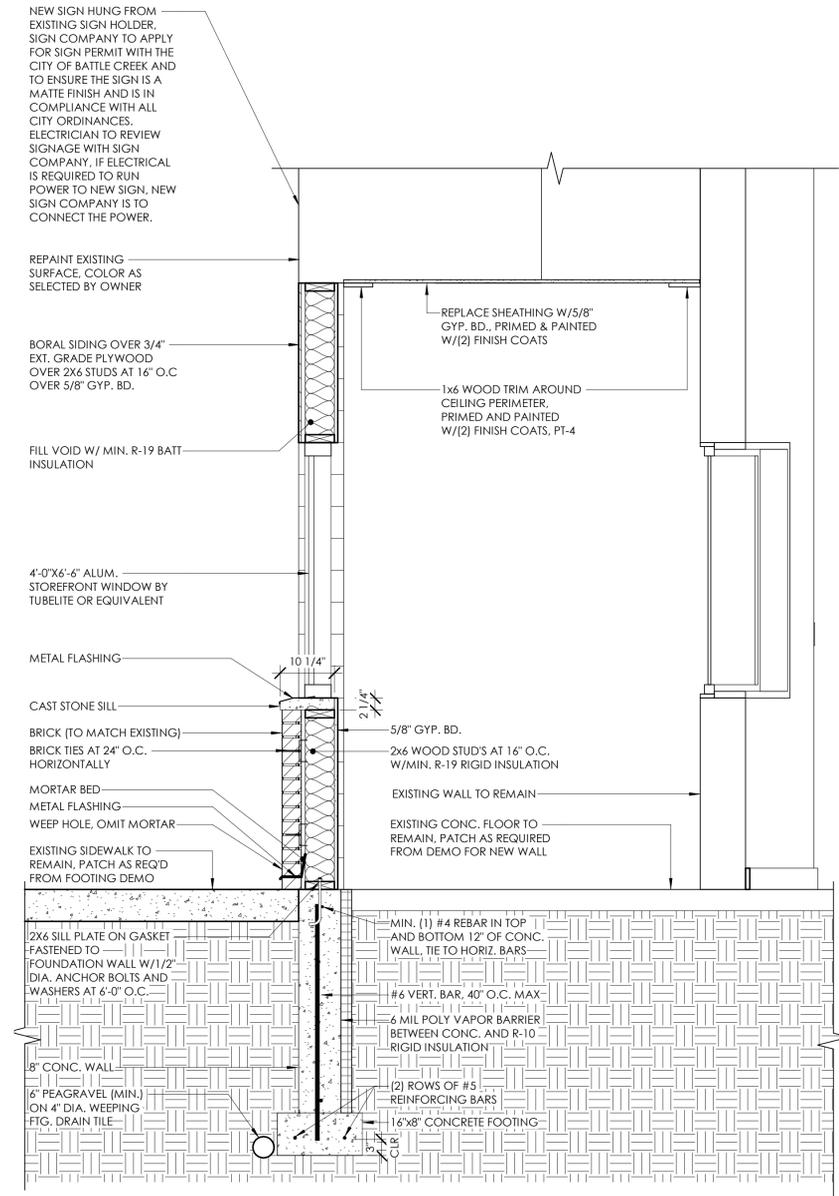
**2 SOUTH ELEVATION**  
A300 1/8" = 1'-0"



**3 EAST ELEVATION**  
A300 1/8" = 1'-0"



**4 WEST ELEVATION**  
A300 1/8" = 1'-0"



**5 NEW VESTIBULE SECTION**  
A300 3/4" = 1'-0"

EXTERIOR ELEVATIONS  
UMAMI RAMEN  
215 W. MICHIGAN AVE, BATTLE CREEK, MI  
UMAMI RAMEN

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**A300**

**MECHANICAL NOTES**

1. INSTALL ALL DUCTWORK PER SMACNA STANDARDS. USING METAL DUCT ADEQUATELY SUPPORTED TO AVOID DEFLECTION IN DUCT. WRAP ALL SUPPLY DUCTWORK WITH 1 1/2" 3/4 P.C.F. DENSITY FIBERGLASS INSULATION WITH VAPOR BARRIER. TAPE & SEAL ALL SEAMS, CUT-OUTS, & PENETRATIONS. INSULATE TOPS & NECKS OF ALL DIFFUSERS AND REGISTERS. PROVIDE EXPOSED SPIRAL UNINSULATED DUCT IN ALL CONDITIONED SPACES.
2. TEST AND BALANCE AIR DISTRIBUTION SYSTEM. PROVIDE BALANCE REPORT TO OWNER FOR REVIEW AT PROJECT COMPLETION.
3. RUN ALL DUCTS ABOVE CEILING, UNLESS NOTED OTHERWISE
4. PROVIDE ALL NECESSARY DUCT FITTINGS AND TRANSITIONS FOR A COMPLETE SYSTEM.
5. INSTALL DIFFUSERS WITH AIR TIGHT CONNECTIONS.
6. FIELD VERIFY CONDITIONS OF EXHAUST FANS. MODIFY OR CHANGE AS NECESSARY TO PROVIDE REQUIRED CFM'S.
7. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES, AND LAWS.
8. ARRANGE AND PAY FOR ALL PERMITS AND INSPECTIONS AS REQUIRED.
9. ALL WORK SHALL BE TESTED, BALANCED, AND GUARANTEED. PROVIDE REPORT TO ARCHITECT AND OWNER FOR THEIR RECORDS.
10. ANY MECHANICAL UNITS OR SYSTEMS SHOWN ARE DIAGRAMMATIC IN NATURE. THE CONTRACTOR SHALL PROVIDE FITTINGS, OFFSETS, ETC. AS NECESSARY TO PROVIDE COMPLETE SYSTEMS.
11. FINAL LOCATION OF ALL CEILING FEATURES TO BE COORDINATED WITH ALL TRADES.
12. MECHANICAL CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS.
13. PROVIDE APPROPRIATE FIRE STOPPING MATERIALS WHERE FIRE RATED ASSEMBLIES ARE PENETRATED.
14. ALL WORK AND MATERIALS SHALL BE GUARANTEED IN WRITING FOR ONE YEAR FROM THE PROJECT COMPLETION.
15. ANY MODEL NUMBERS OR MANUFACTURERS LISTED THROUGHOUT THE DRAWINGS ARE A BASIS OF DESIGN. THE CONTRACTOR MAY AT HIS OPTION PROVIDE AN "OR EQUAL" MANUFACTURER OR PRODUCT. THE CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL COST ADDITIONS REQUIRED TO THE SYSTEM SHOULD AN "OR EQUAL" MANUFACTURER BE SELECTED.
16. ALL GAS PIPING SHALL BE SCHEDULE 40 BLACK STEEL. RUN IN BULKHEADS OR EMBEDDED IN WALL WHERE APPLICABLE. PAINT TO MATCH WHEN EXPOSED.
17. PROVIDE A GAS SHUTOFF VALVE, COMPLETE WITH DIRT LEG AT EACH PIECE OF GAS FIELD EQUIPMENT.
18. THE HEATING AND COOLING SYSTEMS ARE TO BE A DESIGN BUILD SYSTEM. IT IS TO BE DESIGNED, PROVIDED AND INSTALLED BY A LICENSED MECHANICAL CONTRACTOR OR ENGINEER IN THE STATE OF MICHIGAN. THE SYSTEM IS TO BE DESIGNED TO ALL APPLICABLE MICHIGAN MECHANICAL CODES IN FORCE AT THE TIME OF INSTALLATION AND INSPECTION. ANY MECHANICAL SHOWN ON THE PLANS ARE FOR REFERENCE ONLY AND HAVE BEEN PROVIDED BY A LICENSED CONTRACTOR. THE ARCHITECT DOES NOT TAKE ANY LIABILITY FOR THESE SYSTEMS.
19. A CFM SCHEDULE IS TO BE PROVIDED WITH A LAYOUT OF DUCTWORK WHEN APPLYING FOR MECHANICAL PERMIT.

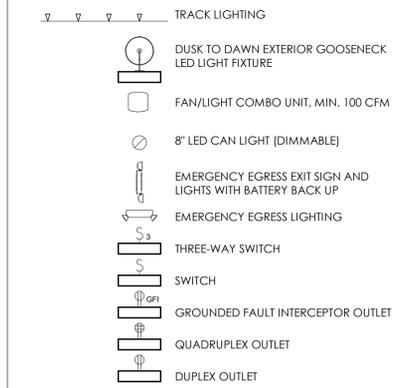
**ELECTRICAL NOTES**

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST ADOPTED EDITION OF THE NATIONAL ELECTRIC CODE AND ALL AUTHORITIES HAVING JURISDICTION.
2. ELECTRICAL CONTRACTOR TO SECURE AND PAY FOR ALL PERMITS AND FEES.
3. ELECTRICAL CONTRACTOR SHALL COORDINATE WITH ALL OTHER TRADES FOR INSTALLATION OF ALL EQUIPMENT. INSTALL EQUIPMENT PER MANUFACTURERS RECOMMENDATIONS. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS.
4. ALL WIRING SHALL BE COPPER NO. 12 AWG MINIMUM SIZE. TYPE THNN/THXX INSULATION.
5. ALL WIRING SHALL BE INSTALLED IN A METALLIC CONDUIT SYSTEM. RUN ALL NEW CONDUIT CONCEALED IN FINISHED AREAS.
6. ALL RECEPTACLES SHALL BE HOSPITAL GRADE, 20 AMP, GROUNDING TYPE, MATCHING EXISTING COLOR AND COVERPLATES. PROVIDE GFCI TYPES WHERE SHOWN AND ANYWHERE WITHIN SIX FEET OF A PLUMBING FIXTURE. VERIFY AND COORDINATE ALL POWER OUTLETS TYPES AND LOCATIONS WITH OWNER PRIOR TO INSTALLATIONS.
7. ALL LIGHT SWITCHES SHALL BE SILENT TYPE, HOSPITAL GRADE, 20 AMP., TO MATCH EXISTING.
8. MAXIMUM LOAD FOR A 20 AMP BREAKER SHALL BE 15 AMPS OR 1800 WATTS AT 120 VAC.
9. PROVIDE NEW TYPED PANEL INDEXES ON ALL ELECTRICAL PANELS THAT WERE REVISED.
10. LIGHTING SHOWN SCHEMATICALLY ON REFLECTED CEILING PLAN, CENTER LIGHTINGS IN ROOM UNLESS NOTED OTHERWISE.
11. ELECTRICAL CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS.
12. GUARANTEE ELECTRICAL MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE YEAR AFTER ACCEPTANCE.
13. IT IS UNDERSTAND AND AGREED BY THE INSTALLER THAT WORK HEREIN DESCRIBED SHALL BE COMPLETE IN EVERY DETAIL, EVEN THOUGH EVERY ITEM INVOLVED IS NOT PARTICULARLY MENTIONED. INSTALLER SHALL BE HELD TO PROVIDE ALL LABOR AND MATERIALS NECESSARY FOR THE WORK INTENDED AND DESCRIBED FOR A COMPLETE AND OPERATIONAL SYSTEM. SUCH MATERIALS SHALL INCLUDE, BUT ARE NOT LIMITED TO, CONDUIT, FITTINGS, COVERPLATES, WIRING, BREAKERS, CONTROL DEVICES, LIGHTING ACCESSORIES, ETC. THIS ALSO INCLUDES EQUIPMENT REQUIRED BY STATE AND LOCAL CODES.
14. ELECTRICAL AND DATA OUTLETS ARE SHOWN SCHEMATICALLY IN NATURE. REVIEW FINAL PLACEMENT WITH OWNER BEFORE INSTALL.
15. THE ELECTRICAL SYSTEM IS TO BE A DESIGN BUILD SYSTEM. IT IS TO BE DESIGNED, PROVIDED, AND INSTALLED BY A LICENSED ELECTRICAL CONTRACTOR OR ENGINEER IN THE STATE OF MICHIGAN. THE SYSTEM IS TO BE DESIGNED TO MEET ALL APPLICABLE MICHIGAN ELECTRICAL CODES IN FORCE AT THE TIME OF INSTALLATION AND INSPECTION. ANY ELECTRICAL SHOWN IS FOR REFERENCE ONLY AND HAS BEEN DESIGNED BY A LICENSED CONTRACTOR. THE ARCHITECT DOES NOT TAKE ANY LIABILITY FOR THESE SYSTEMS.

**PLUMBING NOTES**

1. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES, AND LAWS.
2. ARRANGE AND PAY FOR ALL PERMITS AND INSPECTIONS AS REQUIRED.
3. ALL WORK SHALL BE PERFORMED TO FACILITATE EXPEDITIOUS PROGRESS ON THE WHOLE PROJECT. COORDINATE WORK WITH OTHER TRADES TO MINIMIZE AND RESOLVE POTENTIAL CONFLICTS.
4. THE DRAWINGS ARE DIAGRAMMATIC IN NATURE. THE CONTRACTOR SHALL PROVIDE FITTINGS, OFFSETS, ETC., AS NECESSARY TO PROVIDE COMPLETE SYSTEMS.
5. FURNISH AND INSTALL ALL VALVING FOR THE PROPER SECTIONALIZING AND OPERATION OF PIPING SYSTEMS. PROVIDE ACCESS PANELS AS REQUIRED FOR ACCESS TO VALVES.
6. ALL PIPES PASSING THROUGH FINISHED WALLS, PARTITIONS, AND FLOORS SHALL BE FITTED WITH ADJUSTABLE ESCUTCHEONS, AND APPROPRIATE FIRE STOPPING WHERE REQUIRED.
7. ATTACH ALL FIXTURES TO SUPPORTING SURFACES PLUMB AND LEVEL. WALL HUNG UNITS SHALL BE SECURELY FASTENED TO WALL BACKING. PROVIDE CHAIR CARRIERS FOR ALL LAVATORIES
8. WHERE FIXTURES ARE MOUNTED TO WALLS AND FLOORS, SEAL ALL INTERSECTIONS WITH DOW WHITE SILICONE CAULK.
9. IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY DETAIL OF CONSTRUCTION. CONTRACTOR SHALL FURNISH AND INSTALL ALL ITEMS NECESSARY FOR A COMPLETE CODE COMPLYING SYSTEM.
10. ALL WORK AND MATERIALS SHALL BE GUARANTEED IN WRITING FOR ONE YEAR FROM PROJECT COMPLETION.
11. PLUMBING CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS.
12. SLOPE ALL NEW SANITARY PIPING A MIN. OF 1/8" PER FOOT.
13. SANITIZE ALL NEW HOT & COLD WATER LINES PER LOCAL WATER DEPARTMENT REQUIREMENTS. FLUSH AND TEST SYSTEM FOR LEAKS. MECHANICAL CONTRACTOR IS RESPONSIBLE FOR PROPER LEAK-FREE OPERATION OF SYSTEM. SOLDER JOINTS WITH NON-LEAD SOLDER.
14. PROVIDE DI-ELECTRIC FITTINGS WHERE DISSIMILAR METALS ARE CONNECTED.
15. SUPPLY ALL NECESSARY TRIM, P-TRAPS, AND ANGLE STOPS AT EACH PLUMBING FIXTURE.
16. FIXTURES ARE TO BE PROVIDED BY OWNER AND INSTALLED BY THE PLUMBING CONTRACTOR PER THE MANUFACTURER'S RECOMMENDATIONS.
17. INSULATE ALL COLD WATER LINES WITH 1" MINERAL FIBER INSULATION WITH VAPOR BARRIER. INSULATE ALL HOT WATER LINES WITH 1" FIBERGLASS.
18. DRAIN, VENT AND WASTE PIPING SHALL BE SCHEDULE DWV PVC. CLEAN OUTS IN FINISHED AREAS SHALL BE RECESSED AND HAVE CHROME OR BRASS COVER PLATES FLUSH WITH THE FINISHED FLOOR.
19. PROVIDE SHUTOFF VALVES ON HOT & COLD WATER BRANCH PIPING TO ISOLATE BRANCH.
20. INSTALL EACH FIXTURE WITH TRAP, EASILY REMOVABLE FOR SERVICE AND CLEANING.
21. INSTALL PIPING TO ALLOW FOR EXPANSION AND CONTRACTION WITHOUT STRESSING PIPE, JOINTS, OR CONNECTED EQUIPMENT.
22. FURNISH AND INSTALL WATER HAMMER ARRESTERS IN ACCORDANCE WITH PDI WH201.
23. LAY OUT PLUMBING WORK TO AVOID CONFLICTS WITH OTHER BUILDING COMPONENTS. ESTABLISH ELEVATION OF PUBLIC SEWER SYSTEM.
24. THE PLUMBING SYSTEMS ARE TO BE A DESIGN BUILD SYSTEM. IT IS TO BE DESIGNED, PROVIDED, AND INSTALLED BY A LICENSED PLUMBING CONTRACTOR OR ENGINEER IN THE STATE OF MICHIGAN. THE SYSTEM IS TO BE DESIGNED BY A LICENSED PLUMBING CONTRACTOR OR ENGINEER IN THE STATE OF MICHIGAN. ANY PLUMBING SHOWN IS FOR REFERENCE ONLY. THE ARCHITECT DOES NOT TAKE ANY LIABILITY FOR THESE SYSTEMS.

**ELECTRICAL SYMBOLS**

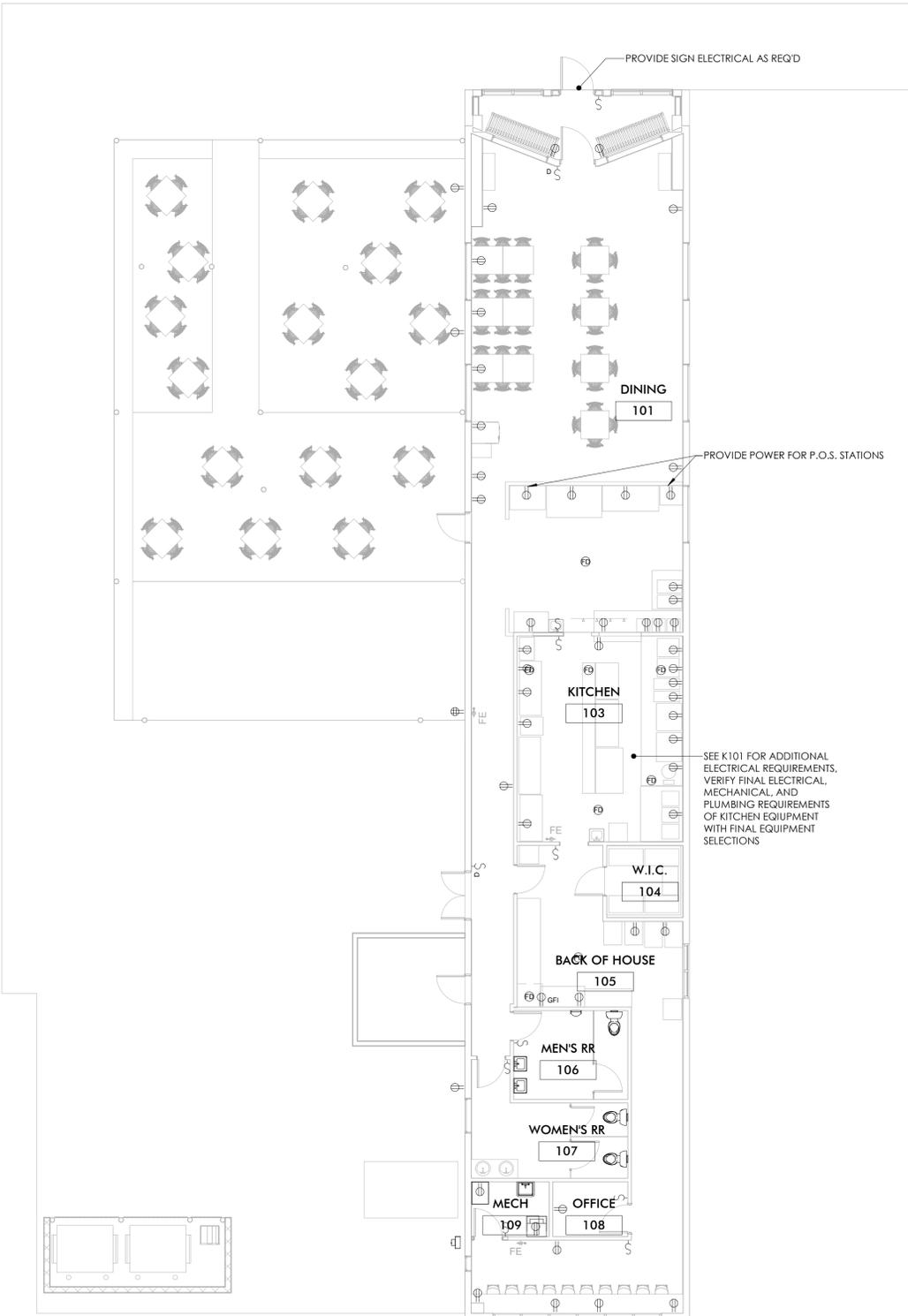


**PLUMBING FIXTURES**

\*PLUMBING FIXTURES PROVIDED AS BASIS OF DESIGN, EQUIVALENTS ARE ACCEPTABLE UPON OWNER'S REVIEW

**MOP/SERVICE SINK** - ONE PIECE MOLDED IN STONE 10" HIGH 24"X24" BASIN WITH 1" SHOULDERS AND TILING FLANGES AS REQUIRED. FURNISH WITH FACTORY INSTALLED STAINLESS STEEL 3" DRAIN BODY WITH REMOVAL STAINLESS STEEL STRAINER. MUSTEE MODEL 63M DURASTONE OR EQUAL. FAUCET SHALL BE CHICAGO FAUCET MODEL 897-CRCF WITH INTEGRAL CHECK VALVES. ROUGH CHROME PLATED CAST BRASS COMBINATION SERVICE SINK FITTING WITH VACUUM BREAKER. 3/4" THREADED HOSE SPOUT, WALL BRACE, PAIL HOOK, ADJUSTABLE FLANGED FEMALE SUPPLY ARMS AND INTEGRAL STOPS. PROVIDE WITH MUSTEE MODEL 65.600 MOP HOLDER OR EQUAL WITH MUSTEE MODEL 65.700 HOSE AND SS HOSE HANGER BRACKET OR EQUAL

**WASHER/DRYER** - ELECTRIC STACKED WASHER/DRYER UNIT BY OWNER



**1 MEP PLAN**  
MEP101 1/8" = 1'-0"

MECH, ELEC, PLUMB SPECS/NOTES  
UMAMI RAMEN  
215 W. MICHIGAN AVE, BATTLE CREEK, MI  
UMAMI RAMEN

ISSUE  
CONSTRUCTION DOCUMENTS

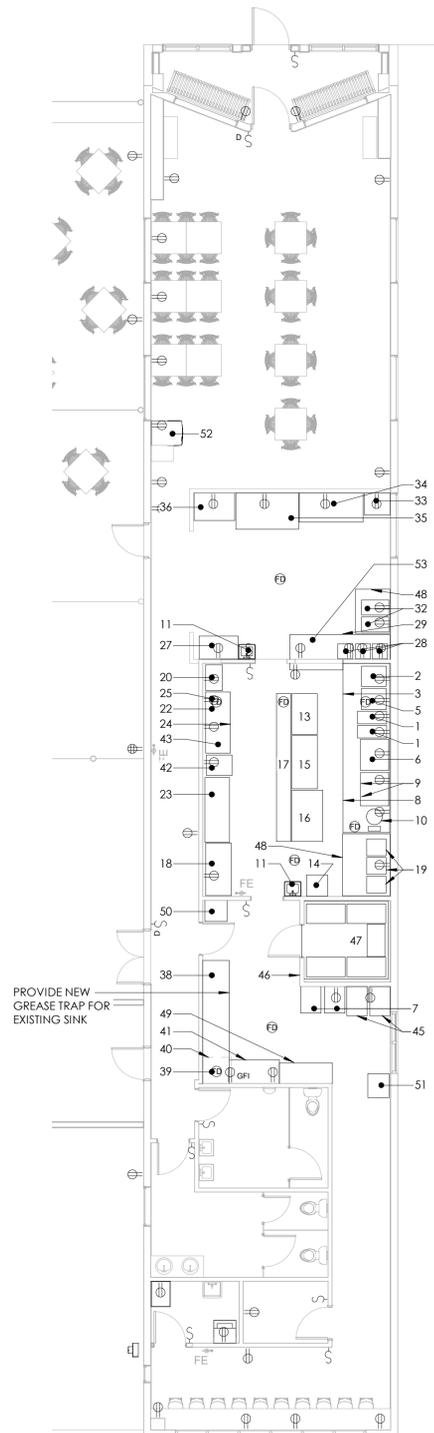
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PROJECT  
2019.15

SHEET

**MEP101**



EQUIPMENT SCHEDULE			
EQUIPMENT	MARK	QUANTITY	ELECTRICAL REQUIREMENTS
SLOW COOK N HOLD OVEN		1	208V 28.9 AMP 6.0KW
DEEP FAT FRYER	1	1	N/A
DEEP FAT FRYER	1	1	N/A
GRIDDLE	2	1	N/A
REFRIG. DRAWER BASE	3	1	120V 5.0 AMP
OPEN BURNER RANGE	6	1	N/A
OPEN BURNER RANGE	6	1	N/A
SLOW COOK N HOLD OVEN	7	1	208V 28.9 AMP 6.0KW
STEAM KETTLE 20 GAL	10	1	120V 5.0 AMP
HAND SINK	11	1	N/A
HAND SINK	11	1	N/A
FREEZER BASE WORK TABLE	13	1	120V 7.0 AMP
FOOD PREP SINK	14	1	N/A
FOOD PREP SINK 2	14	1	N/A
INDUCTION FOOD TABLE	15	1	208V 14.4 AMP G-20 NEMA
COLD FOOD TABLE	16	1	120V 5.4 AMP
COLD FOOD TABLE 2	16	1	120V 5.4 AMP
COLD FOODS TABLE 2	16	1	120V 5.4 AMP
STORAGE UNIT	17	1	N/A
REACH IN REFRIG	18	1	120V 6.0 AMP
STOCK POT RANGE	19	1	N/A
ICE CHEST	20	1	N/A
BACK BAR REFRIG	24	1	120V 2.5 AMP
BEVERAGE COOLER	27	1	120V 8.7 AMP
INDUCTION COOKERS	28	1	208V 12 AMP
SERVICE COUNTER	29	1	N/A
PASTA COOKER	32	1	120V 1.0 AMP
PASTA COOKER	32	1	120V 1.0 AMP
ORDER COUNTER	33	1	N/A
INDUCTION FOOD WARM	34	1	208V 18.0 AMP L6-30 NEMA
CASHIER COUNTER	36	1	N/A
SOILED DISH PAN SINK	38	1	N/A
CLEAN DISH TABLE	41	1	N/A
ICE MACHINE	42	1	120V 15.2 AMP
CAN STORAGE	45	1	N/A
CAN STORAGE	45	1	N/A
WALK IN COOLER	46	1	EXISTING
COOLER SHELVING	47	1	N/A
COOLER SHELVING	47	1	N/A
COOLER SHELVING	47	1	N/A
COOLER SHELVING	47	1	N/A
COOLER SHELVING	47	1	N/A
CONDENSATE HOOD SYS	48	1	120V 9.0 AMP
CONDENSATE HOOD SYS	48	1	120V 9.0 AMP
PAN STORAGE	49	1	N/A
MOP SINK EXISTING	50	1	N/A
DISH STORAGE	51	1	N/A
POP MACHINE	52	1	N/A
UNDERCOUNTER FRIDGE	53	1	N/A

**NOTE: VERIFY FINAL EQUIPMENT SELECTION AND POWER/VENTILATION REQUIREMENTS WITH OWNER AND EQUIPMENT PROVIDER BEFORE FINAL PURCHASE OF EQUIPMENT. ELECTRICIAN TO ENSURE THE EXISTING PANEL IS ADEQUATE TO PROVIDE THE REQUIRED POWER FOR ALL OF THE EQUIPMENT. MECHANICAL CONTRACTOR IS RESPONSIBLE FOR ALL VENTING AND GAS LINES, AND SEALING AND PENETRATIONS TO THE EXTERIOR OR INTERIOR WALLS.**

**1** EQUIPMENT PLAN  
K101 1/8" = 1'-0"

EQUIPMENT PLAN  
UMAMI RAMEN  
215 W. MICHIGAN AVE, BATTLE CREEK, MI  
UMAMI RAMEN

ISSUE  
CONSTRUCTION DOCUMENTS

REVISION

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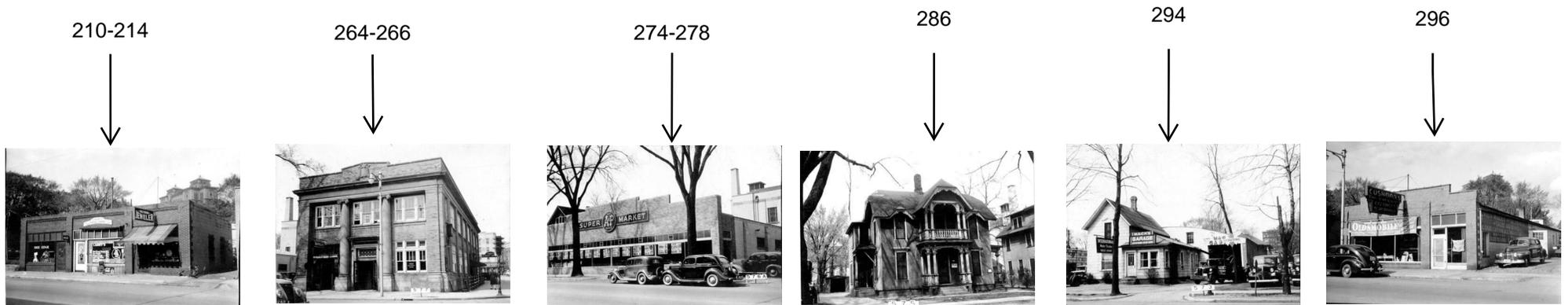
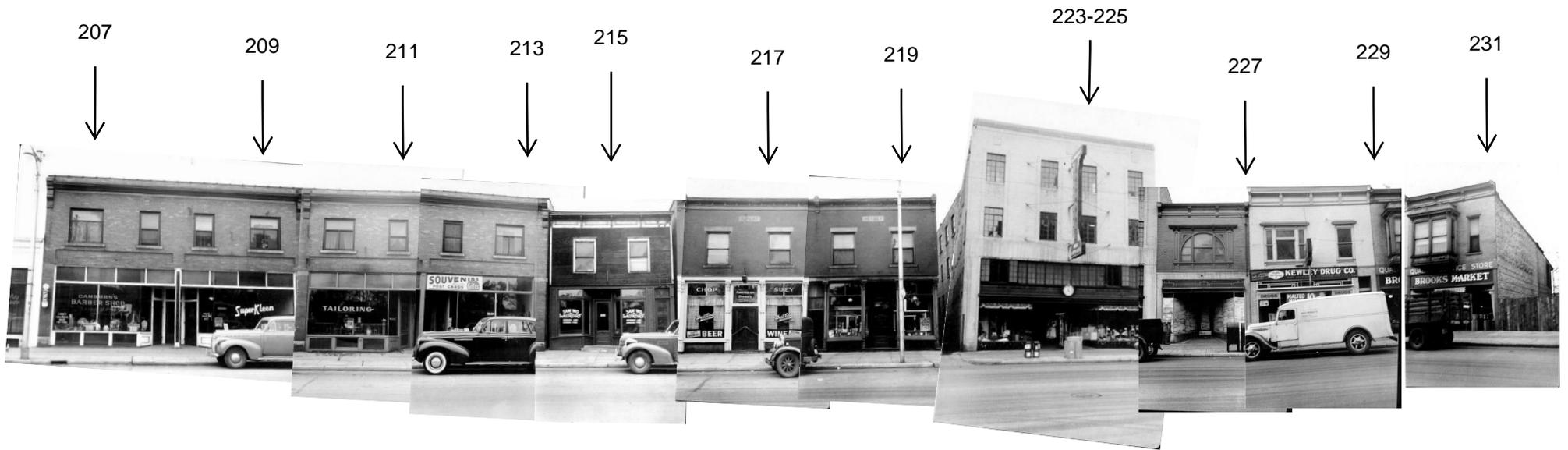
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**K101**

215 West Michigan Avenue  
circa 1945  
Willard Library Digital Collection



# Michigan Avenue West - Historic Photos from the Willard Library Digital Collection



**A TASTE OF INDIA**  
AUTHENTIC CUISINE OF INDIA 269-962-9033

2  
1  
5

**A TASTE OF INDIA**  
OPEN 6 DAYS A WEEK  
Lunch Hours  
11:00 am - 2:30 pm  
Dinner Hours  
4:00 pm - 8:00 pm  
Sunday - Closed

TWO HOUR PARKING  
8AM-5PM  
R  
→





















## Battle Creek Historic District Commission

### Staff Report

15 Carlyle Street

Meeting: February 10, 2020

**To:** Historic District Commission

**From:** Eric Feldt, Planner, AICP, CFM

**Date:** February 2, 2020

**Subject:** Proposed nomination of the building at 15 Carlyle Street 'Record Box' to the 2020 Michigan Historic Preservation Network Award.

### Summary

Staff recommends approval of nominating the building at 15 Carlyle Street 'Record Box' to the 2020 Michigan Historic Preservation Network Award due to the owner's effort in reactivating a historic, vacant building into several new commercial uses while preserving the building's historic significance. Their endeavor has resulted in increased pride, investment, and new jobs in the downtown area and historic preservation.

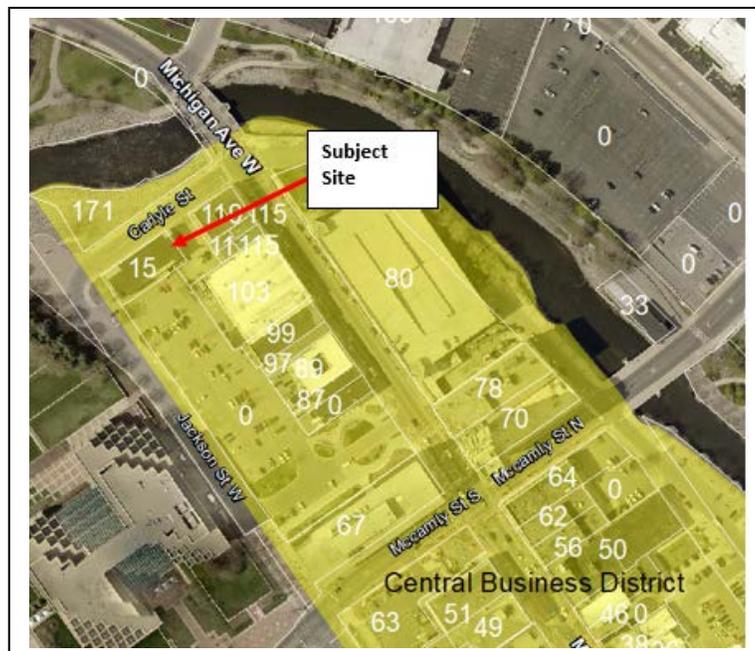


Figure 1: Arrow points to subject site (15 Carlyle Street) at the corner of Carlyle Street and W. Jackson Street in the local historic Central Business District (blue shading).

## **Site & History**

The subject building (15 Carlyle Street) is located in the Central Business District local historic district (See Figure 1 above). The 13,150 square foot brick building was built in 1902. The building was constructed as the manufacturing and office building for the Record Printing and Box Company, a producer of packaging for Battle Creek's numerous cereal companies in the early twentieth century and the only independent producer of cereal cartons in the City.

In 1907, the building reopened as the W.H. Eldred's Wholesale Saddlery and Harness Company from 1907-1921 making horse equipment and related goods. During that time, the Alsteel Manufacturing Company which created the "Macomber Double Acting Paper Baler" also operated in the subject building from 1907-1921 and later becoming the principle occupant until 1952.

After 1952, the building was used as a warehouse and sales office for Hermann Typewriter Service's later changed to Officeways. Sometime later, the building became vacant and was later acquired by Battle Creek Unlimited (BCU) in 2003. Several renovation proposals for the building were proposed but never fulfilled until 2018.

The current owners purchased the property for future development of a brewery/ restaurant, multi-use office space, and reception hall. Several approvals have been gained, occupancy of certain uses have been granted, and needed Historic District Committee reviews and approvals were provided.

## **Summary of Request**

The 2020 Michigan Historic Preservation Award is given to a nominee that generally exemplifies a positive impact in historic preservation at a local and state level, and one in which increases local pride. Attached is the award documentation for details. This annual award is free to file, does not require extensive documentation, nor demand significant City resources. This year's award will be proclaimed during the annual MHPN Annual Michigan Preservation Conference in Kalamazoo during May 14-16, 2020.

An HDC member informed staff of the upcoming filing deadline (February 12, 2020) for this award and thought the subject building might be a good fit. Staff reviewed the nomination criteria and found the building to be a good candidate. The property owners support staff's effort in pursuing this endeavor. Staff will coordinate with the owners to ensure all documentation can be acquired in time. Generally, the criteria requires basic information about the building, i.e. age, historic use, new uses, etc; how the renovation was accomplished (i.e. local Historic reviews, permits, etc.); and how the new uses, tenants, or re-occupancy created local pride in historic preservation and any redevelopment in the neighborhood.

## **Recommendation**

Based on the submitted narrative, staff recommends the HDC support this nomination of the Record Box building for the 2020 Michigan Historic Preservation Network Award.



# Michigan Historic Preservation Network 2020 Preservation Awards

The Michigan Historic Preservation Network is now accepting nominations for the 2020 Preservation Awards. The Awards Program will be held during the MHPN Annual Michigan Preservation Conference in Kalamazoo, May 14-16, 2020.

Submission deadline: 5 PM, **Wednesday, February 12, 2020.**

You are invited to submit nominations for awards in the following categories:

- Building Award**                      Awarded to an outstanding building preservation project completed within the past three years. The project may be restoration or rehabilitation, must include exterior rehabilitation work and may also involve interior work.
- Tax Credit Project Award**              Awarded to an outstanding building preservation project completed within the past three years that included qualified use of federal and/or state tax credit programs. The project may be restoration or rehabilitation, must include exterior rehabilitation work and may also involve interior work.
- Cultural Landscape Award**              Awarded to an outstanding cultural landscape preservation project completed in the last three years. Cultural landscapes can include a wide range of places ranging from gardens, parks, heritage areas or corridors, scenic byways and thousand-acre rural landscapes, to quaint homesteads and front yards. The nominated project should be a restoration of an existing historic landscape or the preservation of a landscape of historical or cultural significance.
- Preservation Gem Award**              Awarded to an outstanding preservation project completed within the last three years that includes restoration or rehabilitation of an element of a building, or of a structure or an object: for example, a front porch, major window rehabilitation, single interior room, commercial facade, theater marquee or similar building element, or of a structure or object, or other project that does not include a complete building or landscape rehabilitation.
- Citizen Award**                      Awarded to an outstanding individual who, through personal effort and/or involvement in historic preservation projects, has made a significant contribution to the preservation of Michigan's heritage.
- Community Award**                      Awarded to a community; e.g. neighborhood association, business preservation group, historical society, etc., that has engaged in a comprehensive plan for historic preservation related projects.
- Government/  
Institution Award**                      Awarded to agencies, municipalities and/or institutions who by their actions have accomplished significant positive changes in the historic preservation climate and activity in the State of Michigan.

## JUDGING CRITERIA

These awards are evaluated by the Awards Committee, made up of members of the current Michigan Historic Preservation Network Board of Directors and emeriti Board Members, which will review the nominations for the degree to which the project, or the citizen's, community's, or institution's contribution, has:

- 1) adhered to the Secretary of the Interior's Standards for the Treatment of Historic Properties, where applicable (the Standards are available at <https://www.nps.gov/tps/standards.htm>); and
- 2) made a positive impact on historic preservation in their/its community or the State as a whole; and
- 3) affected other communities, projects or individuals; and
- 4) been deemed a success locally and/or statewide.

The jury will evaluate each nomination on its individual merit. In the case of rehabilitation of existing structures, awards will be given for **outstanding** examples in which the integrity of the historic structures is retained or restored and in which alterations or additions are appropriate and the historic context is respected. The jury reserves the right to make multiple awards, or no award, in each category, and to nominate projects it deems worthy of awards.



# Michigan Historic Preservation Network 2020 Preservation Awards

## NOMINATION PROCEDURES

Please read the judging criteria, above, and follow the directions below carefully. The jury reserves the right to reject any and all submissions that do not adhere to the following requirements.

All award submissions **must be in digital format**. **DO NOT** send paper copies of submission materials. If you are submitting nominations in multiple categories, please submit a separate nomination and supporting documentation for **each** nomination. Nominations may be submitted on a flash drive or CD/DVD sent to the MHPN office at the address below. Multiple nominations may be submitted in separate folders on the same drive/disk. Submissions may also be in the form of a link to an online file sharing site (such as Dropbox); however, submitters assume the risk if the files are unable to be downloaded or if access to the file sharing system is unavailable (see submission instructions below).

## Required Documentation for all Submissions

### *Nominee Data and Contact Information*

#### **Building, Tax Credit, Cultural Landscape, or Preservation Gem Award**

**Note:** Because historic preservation projects are by their nature collaborative, MHPN presents these awards to the **project**, not to any individual entity (developer, architect, etc.). Award plaques will include the name of the project only, but project partners will be recognized at the awards ceremony and in media where appropriate.

Please provide the following information in MS Word format:

1. The award category for which the project is being nominated.
2. The official name of the building, landscape or project (e.g. "Borden Creamery Building" or "Michigan Theatre Cupola Restoration"), and its address/location.
3. Contact information (name, address, phone, email) of the building or resource owner. Project partners such as architect, contractors, etc. are encouraged to submit nominations, but MHPN must have contact information for the building or resource owner.
4. The person submitting the nomination, including full contact information (name, organization, address, phone, email).
5. Names, addresses, telephone numbers and email addresses of two reference contacts who may be contacted for additional information.
6. Contact persons, addresses, telephone numbers, and email addresses for **major** project partners including, where applicable, owner, developer, architect(s), general contractor, specialty contractors or consultants, and/or others who contributed to the success of the project. Project partners will be recognized at the ceremony and will be given the opportunity to purchase additional plaques, if the nomination is successful.

#### **Citizen, Community, or Government/Institution Award**

Please provide the following information in MS Word format:

1. The award category in which the person or organization is being nominated.
2. The name of the person or organization being nominated
3. The project or achievement for which the person or organization is being nominated (e.g. "Implementing a Preservation Plan" or "Her Preservation Activism in Ann Arbor, Michigan"). The phrase should be no more than 10-12 words in length.
4. The name of the community or communities in which the project or achievement took place.
5. Contact information (address, phone, email) for the person or organization being nominated. For an organization, this should include the name of an official contact person who will be notified in the event the organization is selected for an award.
6. The person or organization submitting the nomination, including full contact information (organization, address, phone, email). A submission by an organization should include the name of an official contact person.
7. Names, addresses, telephone numbers and email addresses of two reference contacts who may be called for additional information.



# Michigan Historic Preservation Network 2020 Preservation Awards

## *Nomination Narrative, Photographs, and Supporting Documentation*

1. A **minimum** 500 word, **maximum** 1500 word narrative describing the project, or the achievement for which the person or organization is being nominated, in Word format. See specific category requirements for narrative below.
2. A **minimum** of 12-15 good quality (300 dpi) photographs in TIFF or JPEG format. **Photographs must be submitted as individual TIFF or JPEG files.** See specific category requirements below.
3. A maximum of ten supporting documents may be submitted to support the nomination narrative, but **may not replace** the narrative. Supporting documents may include letters of support, news articles, brochures, etc.

## *Specific Category Requirements*

**Building, Tax Credit, Cultural Landscape, or Preservation Gem Award:** The narrative should include the building or landscape size, age, style and history of use, the building/landscape owner and tenants, the work done, financing (information on financing is **required** for Tax Credit Award nominations), local or state assistance received, and any other special design considerations. **Describe how the project met the Secretary of the Interior's Standards.** Photographs **MUST** show both before and after conditions; historic images are **strongly** encouraged.

**Citizen Award:** The narrative should note organizations of which the nominee is a member, tenure or leadership positions held, and a list of accomplishments in historic preservation that were directly attributable to the nominee. Supporting documentation such as media articles or support letters are very helpful in this category. Photographs should include a closeup (head and shoulders) shot of the nominee and other relevant images related to the person's achievements.

**Community Award:** The narrative should include the goals of the community or association, etc. and how these goals were accomplished. Supporting documentation may include listings of public hearings or other informational meetings held, lists of publications distributed with copies attached, and before and after photographs of community rehabilitation projects, as applicable.

**Government/Institution Award:** The narrative should include detailed documentation showing the government or institution's accomplishments and/or involvement in historic preservation-related activities, including photographs of relevant projects.

**OPTIONAL:** If desired, applicants may, **in addition**, submit a single PDF file that includes the nomination data, narrative, and photographs. However, this PDF **does not replace** the submission requirements to provide all data/narrative in Word format, and all photos as individual files in either TIFF or JPEG format.

If you are unsure of what category your nomination might fall under, or if you have any other questions regarding the nomination procedure, please contact the Awards committee chair, Ruth Mills, at [ruthmills@gmail.com](mailto:ruthmills@gmail.com).

Supporting materials/media are not returnable. Submission of photographs and all other material authorizes the Michigan Historic Preservation Network to use them for judging and award presentation, and to publish such material in the course of its activities.

## **Submission**

Delivered submissions: Mail/deliver to **Michigan Historic Preservation Network, 313 César E. Chávez Avenue, Lansing, MI 48906.** If you wish to check that your submission was received on time, please contact the MHPN office directly at 517-371-8080.

Electronic submissions: Please send link and download instructions to [ruthmills@gmail.com](mailto:ruthmills@gmail.com). **DO NOT EMAIL SUBMISSION MATERIALS DIRECTLY TO THIS ADDRESS.** Ms. Mills will confirm download of the documents as soon as possible.

## **Deadline**

Nominations are due by 5 PM, **Wednesday, February 12, 2020.**

Incomplete or late nominations may not be considered. Nominations that are not chosen may be resubmitted in the following year.